

ZONING CONDITIONS

Zoning Case: 154-88
Approved: March 15, 2011
ROOMS TO GO (Gross/Retner Management Realty Advisors LLC as Receiver for Heardco LP owner) requesting Rezoning from GC with Stipulations to GC with Stipulations for the purpose of Retail and Removing Zoning Stipulations in Land Lots 172, 173, and 209 of the 20th District. Located on the north side of Ernest Barrett Parkway on the south side of AutoPark Drive west of Barrett Lanes Boulevard.

The public hearing was opened and Mr. Carl Westmoreland addressed the Board. Following presentation and discussion, the following motion was made:

MOTION: Motion by Gureham, second by Ott, to delete Rezoning to the CRC zoning district subject to:

site plan received by the Zoning Division February 4, 2011 for reference and subject to Plan Review and approval by the District Commissioner (attached and made a part of these minutes)

letter of agreeable conditions from Mr. Carl E. Westmoreland, Jr., dated March 14, 2011 (attached and made a part of these minutes) contemporaneous variances allowed as described in the stipulated letter

elevations subject to Plan Review and approval by the District Commissioner

use and site plan for the north parcel facing Auto Park Drive subject to approval by the Board of Commissioners

project to be in conformance with Town Center Area Guidelines, subject to Tree Ordinance and Sign Ordinance, with an overall landscape plan to be approved by County Arborist

landscape plan to be in general conformity to the Town Center Community Improvement District guidelines.

If the property is subdivided or if a portion is sublet resulting in any lot(s) that do not meet the parking code independently, then all lots adjacent to Barrett Parkway right-of-way will participate in a cross parking agreement

no vehicles may be parked visible to any right-of-way for advertising or "for sale" purposes, unless the use of the entire property is modified to auto/truck sales by the Board of Commissioners

District Commissioner may approve minor modifications

Water and Sewer Division comments and recommendations, and Stormwater Management Division comments and recommendations.

Cobb DOT comments and recommendations, and Cobb DOT comments and recommendations.

VOTE: ADOPTED unanimously

NOTE:

THE PROJECT CONSISTS OF THE DEMOLITION OF AN EXISTING AUTO SALES FACILITY CONSISTING OF A SINGLE BUILDING AND ITS ASSOCIATED PARKING AND STORAGE LOTS. UNDER THIS PROJECT, A SINGLE BUILDING WILL BE CONSTRUCTED FOR A COMMERCIAL RETAIL FACILITY, ALONG WITH ITS ASSOCIATED PARKING AND INFRASTRUCTURE. ADDITIONALLY, A SEPARATE BUILDING PAD AND THE BACK HALF OF THE SITE WILL BE GRADED AND STABILIZED FOR FUTURE DEVELOPMENT.

PLANS FOR SITEWORK CONSTRUCTION



964 BARRETT PARKWAY

LOCATED IN :
LAND LOTS 172, 173 & 209, DISTRICT 20 2nd SECTION
COBB COUNTY, GEORGIA
SPR-2010-00239

OWNER/DEVELOPER:
BULLDOG KN LLC
400 PERIMETER CENTER TERRACE
SUITE 800
ATLANTA, GEORGIA 30346

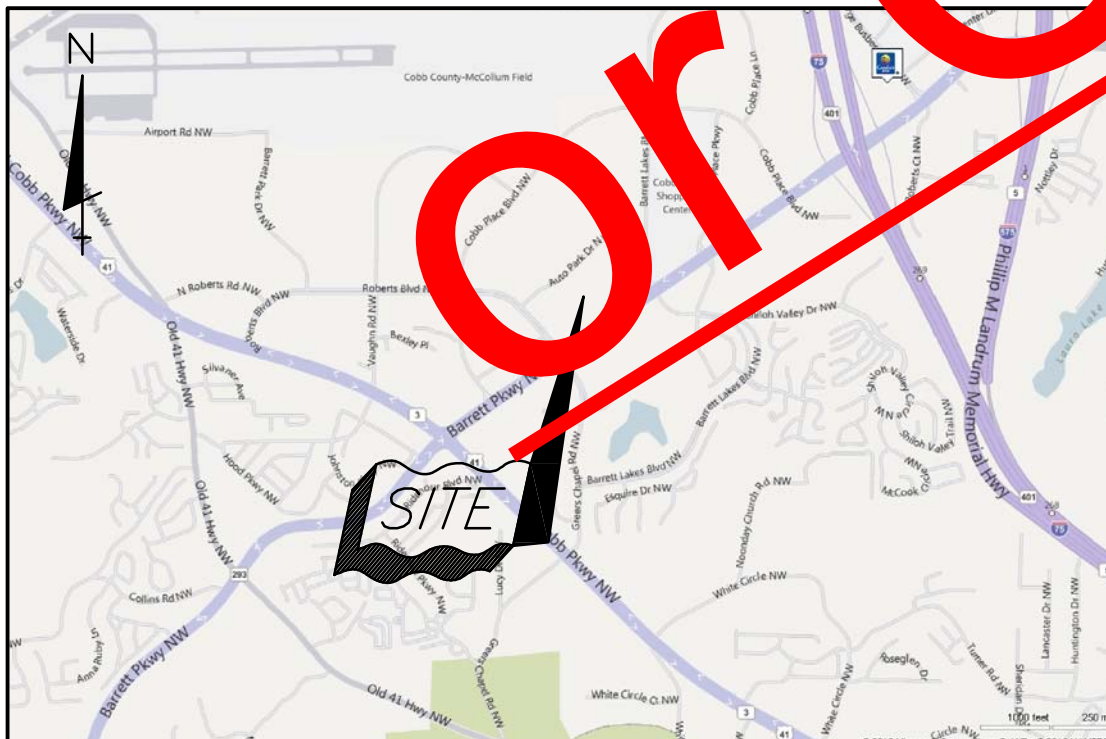
ARCHITECT:
CASCO
10877 WATSON ROAD
ST. LOUIS, MISSOURI 63127



NOTE:
A PRE-CONSTRUCTION LANDSCAPE CONFERENCE IS REQUIRED FOR THIS PROJECT. CALL THE COBB COUNTY ARBORIST AT (770) 528-2124 OR LANDSCAPE ARCHITECT AT (770) 528-2149. THERE ARE CRITICAL FACTORS ON THE LANDSCAPE PLAN THAT AFFECT BOTH THE GENERAL CONTRACTOR AND THE LANDSCAPE CONTRACTOR. PLANTING AREA DIMENSIONS, PLANTING METHODS AND AS WELL AS PLANT MATERIALS MUST BE IN ACCORDANCE WITH THE APPROVED PLAN, OR THE LANDSCAPE INSPECTOR MAY DELAY THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.

LEGEND

Abbrev/Symbol	Description	Symbol	Description
CB/△ & □	Catch Basin	—S—S—	Water Line
D.I./○	Drop Inlet	—ST—	Storm Sewer Line
W.I./○	Manhole	—SS—	Sanitary Sewer Line
M.A./○	Manhole	—T—	Overhead Telephone Line
J.B./○	Junction Box	—U—	Underground Telephone Line
H.B./○	Handhole	—C—	Data Communications Line
F.E.S./○	Flared End Section	—E—	Overhead Electrical Line
S.T./○	Setback Trip	—U—	Underground Electrical Line
U.P./○	Utility Pole	—G—	Gas Line
L.P./○	Lights	—F—	Fiber Optic Line
F.H./○	Fire Hydrant	—W—	Water Surface Boundary Or Creek
W.V./○	Water Valve	—C—	Centerline
		—F—	Flood Plain Boundary Line
		—L—	Limits Of Fill
		—R—	Right-Of-Way
		—P—	Proposed
		—L.L.—	Limit Line
		—R.C.—	Reinforced Concrete Pipe
		—V.C.—	Verticed Clay Pipe



LOCATION MAP
COBB COUNTY, GEORGIA

PREPARED BY:
Pharr Engineering Associates, LLC.
3050 FIVE FORKS TRICKUM ROAD
SUITE D-590
LILBURN, GEORGIA 30047
(770) 447-4400

THE 24 HOUR EMERGENCY CONTACT : JIM FINKEL (678) 475-4766

INDEX OF DRAWINGS

NUMBER	DRAWING
C-0	COVER SHEET
C-1.1 & 1.2	EXISTING CONDITIONS
C-2	DEMOLITION PLAN
C-3.1	INITIAL EROSION CONTROL PLAN
C-3.2	INTERIM EROSION CONTROL PLAN
C-3.3	FINAL EROSION CONTROL PLAN
C-4	SITE PLAN
C-5 *	STAGING PLAN
C-6	GRADING & DRAINAGE PLAN
C-7	UTILITY PLAN
C-8.1	UTILITY PROFILES
C-9.1	OUTLET CONTROL DETAILS
C-10.1 thru 10.5	CONSTRUCTION DETAILS
C-11	ZONING CONDITIONS
TP-1	TREE PROTECTION & REMOVAL PLAN
TP-2	TREE PROTECTION DETAILS
LS-1	LANDSCAPE PLAN
LS-2	LANDSCAPE DETAILS
IR-1	SCHEMATIC IRRIGATION PLAN
IR-2	STANDARD IRRIGATION DETAILS
IR-3	DRIP IRRIGATION DETAILS

* NOT INCLUDED IN SUBMITTAL SET

DISTURBED AREA = 7.16 ACRES

CONTACT INFO:
OWNER: BULLDOG KN LLC
11540 E US HIGHWAY 92
SEFFNER, FLORIDA 33584
678-475-0489
ENGINEER: PHARR ENGINEERING ASSOCIATES, LLC
3050 FIVE FORKS TRICKUM ROAD
SUITE D-590
LILBURN, GEORGIA 30047
770-447-6400
WADE HUNNICUTT
WHUNNICUTT@PHARRENGINEERING.COM



pharrengineering
PHARR ENGINEERING ASSOCIATES, LLC
CIVIL ENGINEERS
3050 FIVE FORKS TRICKUM ROAD, SUITE 590
LILBURN, GEORGIA, 30047
TEL: 770-447-4400 / 770-447-4442 FAX

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COBB COUNTY, GEORGIA
BULLDOG KN LLC
11540 E US HIGHWAY 92
SEFFNER, FLORIDA 33584

REVISIONS :

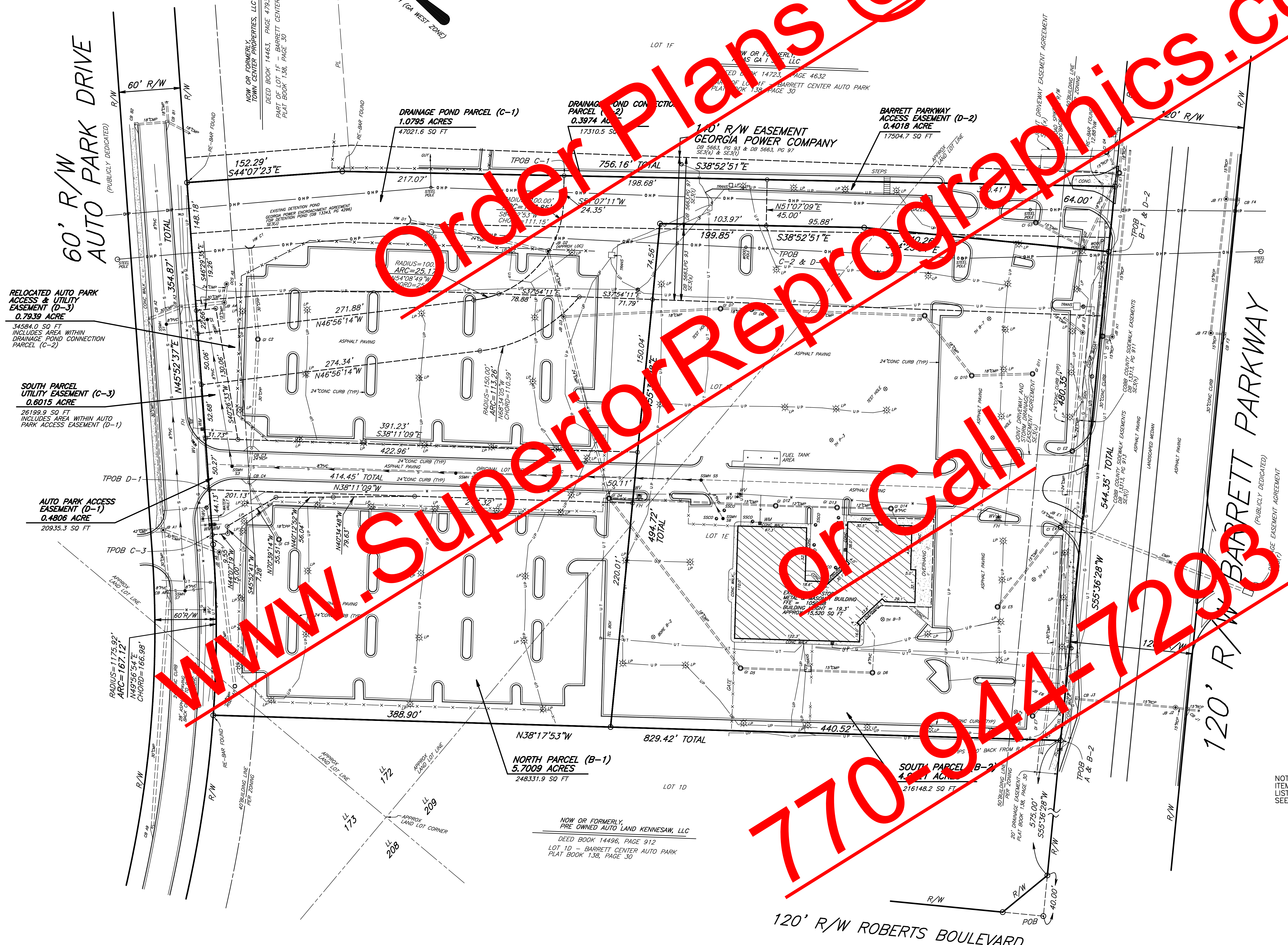
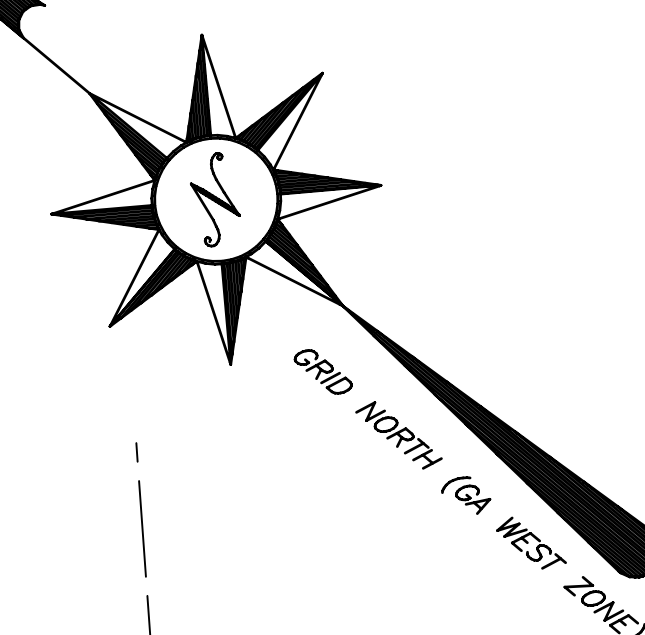
NO. & DATE	DESCRIPTION
No. 1 5/25/11	COUNTY COMMENTS

DRAWING TITLE :
COVER SHEET

DATE : 12/21/10
PROJECT : 091283
DRAWING NO. :
C-0
SEQ. OF
SCALE :

- LEGEND:**
- BL - BUILDING LINE
 - BW - BENCH MARK
 - CB - CATCH BASIN
 - CD - CROSS DRAIN
 - CL - CENTER LINE
 - DA - DRAINAGE AREA
 - DI - DRAIN INLET
 - EL - ELEVATION
 - FF - FINISHED FLOOR
 - FM - FIRE HYDRANT
 - HC - HI-BACK CURB
 - HM - HEAD MALL
 - IB - INTERSECTION
 - LL - LAND LOT LINE
 - MT - MANHOLE
 - MH - MANHOLE
 - MC - MAIN TR. CAP
 - OL - ON LINE
 - PL - PROPERTY LINE
 - PI - PAVEMENT
 - RF - REBAR FOUND
 - R/W - RIGHT-OF-WAY
 - TH - TEST HOLE
 - TL - TELEPHONE LINE & POLE
 - UG - UNDERGROUND
 - W - WATER VALVE
 - LP - LIGHT POLE
 - POB - POINT OF BEGINNING (COMMENCEMENT)
 - CE - CONSTRUCTION EASEMENT (TEMPORARY)
 - CMF - CONCRETE MONUMENT FOUND
 - CP - CORRUGATED METAL PIPE
 - CT - CULVERT TOP TUBE FOUND
 - DE - DRAINAGE EASEMENT
 - FE - FLOOD EASEMENT
 - FL - FLOOD INSURANCE RATE MAP
 - HLP - HOUSE LOCATION PLAN REQUIRED
 - HIT - HOLLOW TUBE FOUND
 - HL - 100 YEAR HIGH WATER LEVEL
 - IE - INVERT ELEVATION
 - IS - 1/2" BENCH MARK SET
 - PC - POINT OF CURVATURE
 - PC - POINT OF COMPOUND CURVATURE
 - PI - POINT OF INTERSECTION
 - PRC - POINT OF REVERSE CURVATURE
 - PT - POINT OF TANGENCY
 - RE - REINFORCED CONCRETE PIPE
 - RE - REBAR FOUND
 - TPOB - TRUE POINT OF BEGINNING
 - GAS LINE
 - SEWER LINE & MANHOLE
 - TELEPHONE LINE & POLE
 - WATER LINE & FIRE HYDRANT
 - FENCE LINE

NOW OR FORMERLY,
TOWN CENTER PROPERTIES, LLC
DEED BOOK 14463, PAGE 4783
PART OF LOT 1F - BARRETT CENTER AUTO PARK
PLAT BOOK 138, PAGE 30



STORM STRUCTURES

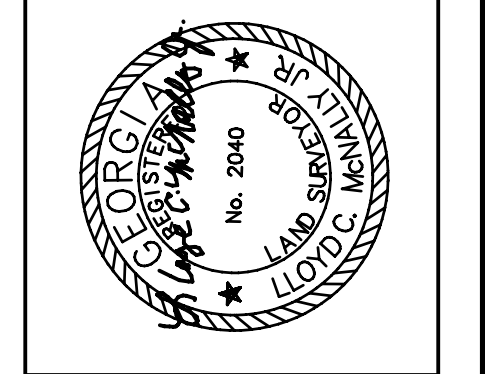
STRUCTURE	TYPE	TOP ELEV	IE OUT	IE IN	IN FROM
A1	JB	1034.38	1019.38	1020.42	A2
A2	JB	1034.38	1020.42	1026.58	A3
A3	SWCB	1031.33	1022.85	1022.77	A4
A4	JB	1034.30	1024.16	1024.67	15' CMP
A5	OCS	1031.38	1027.32	1030.14	IE OF WEIR
A6	JB	1037.15	1027.25	1027.25	A7
A7	36" RISER	1038.07	1027.12	1027.12	A8
A8	SWCB	1035.68	1027.73	1027.79	30' CMP
A9	SWCB	1039.65	1031.20	1031.40	30' CMP
B1	SWCB	1028.26	1021.96	1022.16	B2
B2	JB	1032.48	1022.49	1022.49	B3
B3	JB	1030.60	1027.41	1027.41	B4
B4	SWCB	1033.64	1027.77	1027.97	C3
B5	DWCB	1033.64	1029.32	1029.64	C4
C5	GI	1035.68	1030.04	1030.14	C5
C6	GI	1035.68	1032.27	1032.27	C7
D1	JB	1030.60	1027.95	-	-
D2	JB	1040.76	1036.26	1036.26	D4
D3	GI	1043.20	1037.20	1040.20	D5
D4	GI	1048.58	1044.43	1044.53	D6
D5	GI	1048.58	1045.90	NOT ACC.	6" PVC
D6	GI	1048.58	1038.20	1038.49	D8
D7	GI	1048.67	1038.67	1038.67	D9
D8	GI	1048.67	1041.27	1041.27	D10
D9	GI	1048.79	1042.34	1042.49	D11
D10	GI	1048.43	1043.43	1043.43	D12
D11	GI	1048.43	1044.14	1044.29	D13
D12	GI	1049.01	1045.20	1045.31	D14
D13	GI	1048.98	1045.88	NOT ACC.	8" PVC
E1	JB	1050.55	1033.75	1035.90	E2
E2	JB	1040.00	1040.00	1040.00	E3
E3	JB	1048.58	1037.38	1037.78	E4
E4	JB	1048.58	1041.13	1041.17	18" CMP
E5	JB	1050.34	1043.64	1043.64	E6
E6	JB	1054.15	1043.85	1044.30	24" CMP
E7	DI	1053.37	1046.87	1046.87	E8
F1	JB	1045.56	1040.41	1040.56	F2
F2	JB	1048.54	1045.04	1045.09	F3
F3	SWCB	1048.56	1045.88	1045.88	F4
F4	SWCB	1046.24	1042.54	-	F5
G1	CI	1045.25	1041.85	1041.85	G2
G2	JB	1047.76	1042.01	1041.85	G3
G3	CI	1045.58	1042.58	1042.16	G4
G4	CI	1044.61	1041.96	-	G5
H1	JB	1048.84	1044.89	1045.29	H2
H2	CI	1048.06	1044.71	-	H3
J1	SWCB	1054.21	1044.21	1045.61	J2
J2	JB	1054.18	1048.08	1048.39	J3
J3	SWCB	1055.55	1050.25	-	J4

SANITARY SEWER STRUCTURES

STRUCTURE	TYPE	TOP ELEV	IE OUT	IE IN	IN FROM
S1	SSMH	1031.16	1017.94	1018.01	S7
S2	SSMH	1033.50	1021.80	1020.65	S8
S3	SSMH	1033.28	1029.32	1029.64	S4
S4	SSMH	1036.18	1026.78	1026.83	S5
S5	SSMH	1047.29	1036.01	1036.23	S6
S6	SSMH	1049.39	1038.99	1039.75	MAIN
S7	SSMH	1055.71	1019.59	1019.75	STUB

REVISIONS

NO.	DATE	DESCRIPTION
1	09/15/2010	TOPOGRAPHIC CONTOUR LINES REMOVED FOR CLARITY
2	09/27/2010	REVISED PROPOSED EASEMENTS PER CLIENT REQUEST AND REVISED EXISTING DRAINAGE EASEMENTS PER RECORDED PLAT
3	12/24/2010	REVISED PARCELS B-1, B-2 & D-2 ADDRESSED ATTORNEY & CLIENT COMMENTS



McNally & Patrick
1806 HWY. 28 SOUTH - LAWRENCEVILLE, GA 30044
PHONE: 770-965-8620 FAX: 770-965-3894

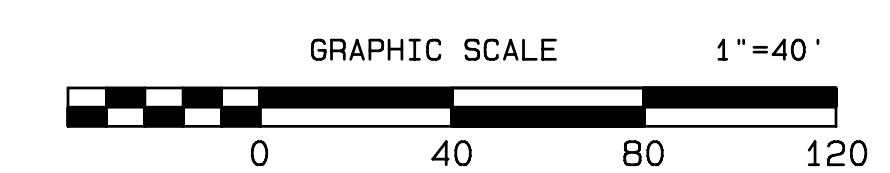
ALTA/ACSM LAND TITLE SURVEY FOR:
**SEAMAN DEVELOPMENT CORP.,
CHICAGO TITLE INSURANCE COMPANY AND
CALLOWAY TITLE AND ESCROW, LLC**
LOTS 1E & 2E - BARRETT CENTER AUTO PARK
LAND LOTS 172, 173 & 209 OF THE 20 TH DISTRICT - 2ND SECTION - COBB COUNTY, GEORGIA

SCALE: 1"=40'
DATE: 8-27-2010
SHEET 1 OF 2

www.SuperiorReprographics.com
 or Call 770-944-7293

NOTE: ITEMS LABELED "SE3(*)" REFER TO SPECIAL EXCEPTIONS LISTED IN PART II, SCHEDULE B OF TITLE COMMITMENT SEE TITLE EXCEPTIONS SECTION ON SHEET 2

SEE SHEET 2 OF 2 FOR:
SURVEY NOTES
LEGAL DESCRIPTIONS
LOCATION MAP
TITLE EXCEPTIONS
SURVEYOR CERTIFICATE



120' R/W ROBERTS BOULEVARD

LEGAL DESCRIPTION NORTH PARCEL (B-1) All that tract or parcel of land lying and being in Land Lots 172, 173 & 209 of the 20th District, 2nd Section of Cobb County, Georgia, being part of Lots 1E and 2E of Barrett Center Auto Park, and being more particularly described as follows.

To find the TRUE POINT OF BEGINNING, begin at a point at the intersection of the northerly right-of-way of Roberts Boulevard with the northerly right-of-way of Barrett Parkway if both rights-of-way are extended to form an angle (both roads having a 120 foot right-of-way) thence North 55 degrees 36 minutes 28 seconds East along the extended and actual northerly right-of-way of Barrett Parkway for a distance of 615.00 feet to a point and the TRUE POINT OF BEGINNING.

THENC leaving the northerly right-of-way of Barrett Parkway on a bearing of North 34 degrees 23 minutes 31 seconds West for a distance of 340.26 feet to a point; THENC South 38 degrees 52 minutes 51 seconds West for a distance of 199.85 feet to a point; THENC South 38 degrees 52 minutes 51 seconds West for a distance of 494.72 feet to a point;

LEGAL DESCRIPTION DRAINAGE POND CONNECTION PARCEL (C-2) All that tract or parcel of land lying and being in Land Lot 172 of the 20th District, 2nd Section of Cobb County, Georgia, being part of Lot 2E of Barrett Center Auto Park, and being more particularly described as follows.

To find the TRUE POINT OF BEGINNING, begin at a point at the intersection of the northerly right-of-way of Roberts Boulevard with the northerly right-of-way of Barrett Parkway if both rights-of-way are extended to form an angle (both roads having a 120 foot right-of-way) thence North 55 degrees 36 minutes 28 seconds East along the extended and actual northerly right-of-way of Barrett Parkway for a distance of 615.00 feet to a point and the TRUE POINT OF BEGINNING.

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LEGAL DESCRIPTION SOUTH PARCEL (B-2) All that tract or parcel of land lying and being in Land Lots 172 and 209 of the 20th District, 2nd Section of Cobb County, Georgia, being part of Lots 1E and 2E of Barrett Center Auto Park, and being more particularly described as follows.

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THENC leaving the northerly right-of-way of Barrett Parkway on a bearing of North 38 degrees 17 minutes 53 seconds West for a distance of 440.52 feet to a point; THENC North 55 degrees 36 minutes 28 seconds West for a distance of 494.72 feet to a point; THENC South 38 degrees 52 minutes 51 seconds East for a distance of 199.85 feet to a point;

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To find the TRUE POINT OF BEGINNING, begin at a point at the intersection of the northerly right-of-way of Roberts Boulevard with the northerly right-of-way of Barrett Parkway if both rights-of-way are extended to form an angle (both roads having a 120 foot right-of-way) thence North 55 degrees 36 minutes 28 seconds East along the extended and actual northerly right-of-way of Barrett Parkway for a distance of 615.00 feet to a point and the TRUE POINT OF BEGINNING.

THENC leaving the northerly right-of-way of Barrett Parkway on a bearing of North 34 degrees 23 minutes 31 seconds West for a distance of 340.26 feet to a point; THENC South 38 degrees 52 minutes 51 seconds West for a distance of 199.85 feet to a point; THENC South 38 degrees 52 minutes 51 seconds West for a distance of 494.72 feet to a point;

LEGAL DESCRIPTION BARRETT PARKWAY ACCESS EASEMENT (D-3) All that tract or parcel of land lying and being in Land Lots 172 and 209 of the 20th District, 2nd Section of Cobb County, Georgia, being part of Lot 2E of Barrett Center Auto Park, and being more particularly described as follows.

LEGAL DESCRIPTION OVERALL PARCEL (A) All that tract or parcel of land lying and being in Land Lots 172, 173 & 209 of the 20th District, 2nd Section of Cobb County, Georgia, being part of Lots 1E and 2E of Barrett Center Auto Park, and being more particularly described as follows.

To find the TRUE POINT OF BEGINNING, begin at a point at the intersection of the northerly right-of-way of Roberts Boulevard with the northerly right-of-way of Barrett Parkway if both rights-of-way are extended to form an angle (both roads having a 120 foot right-of-way) thence North 55 degrees 36 minutes 28 seconds East along the extended and actual northerly right-of-way of Barrett Parkway for a distance of 615.00 feet to a point and the TRUE POINT OF BEGINNING.

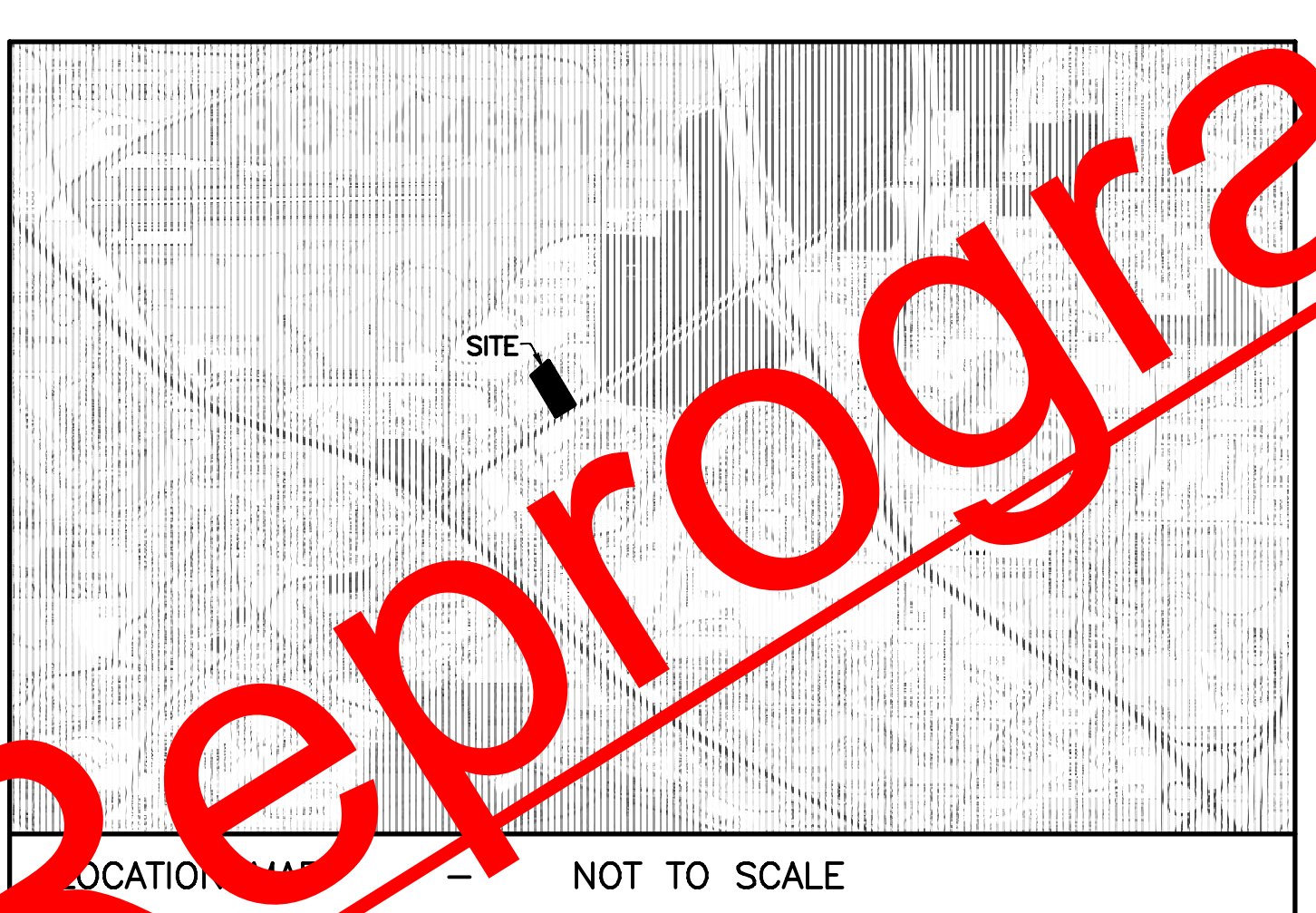
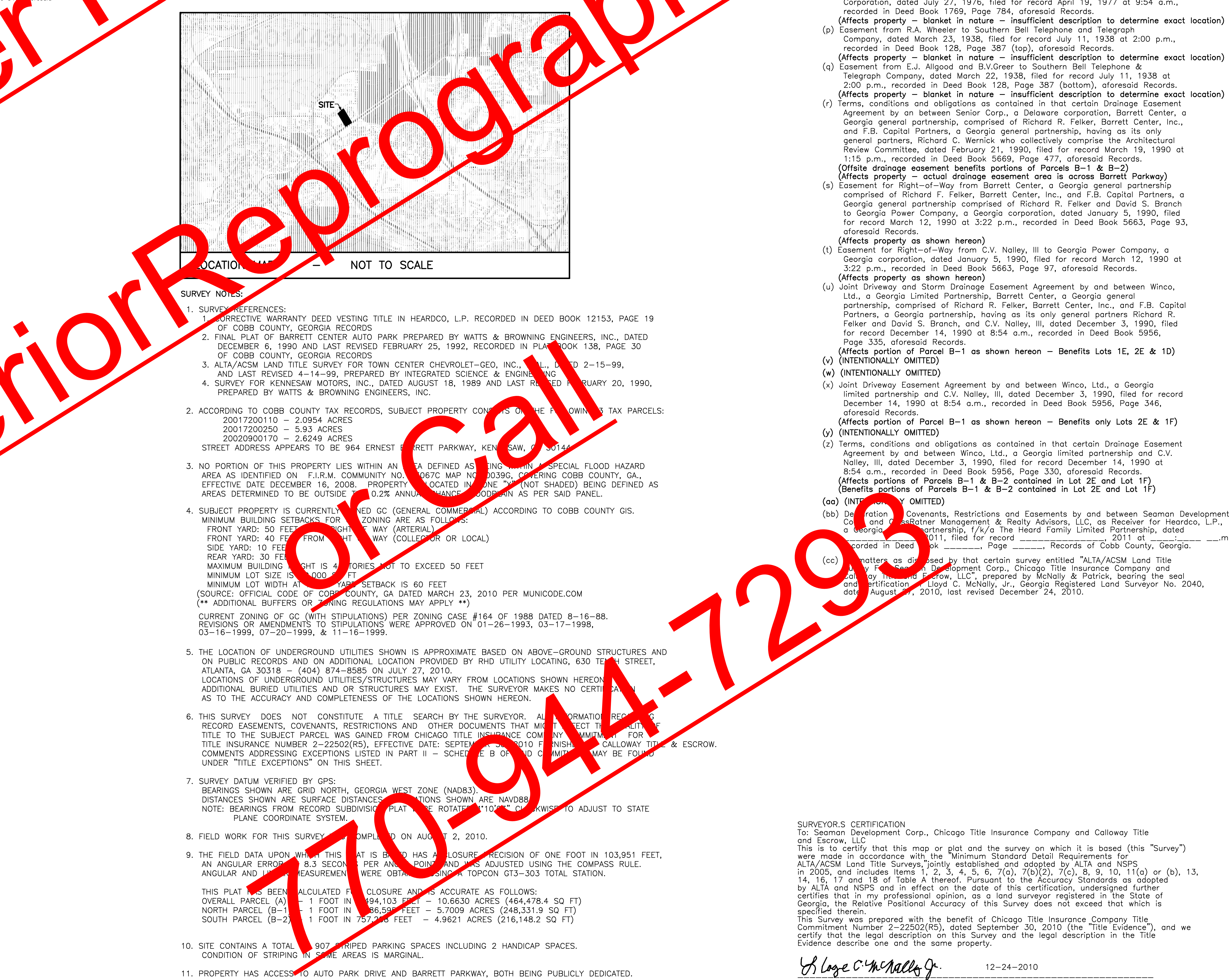
THENC leaving the northerly right-of-way of Barrett Parkway on a bearing of North 38 degrees 17 minutes 53 seconds West for a distance of 440.52 feet to a point; THENC North 55 degrees 36 minutes 28 seconds West for a distance of 494.72 feet to a point;

LEGAL DESCRIPTION BARRETT PARKWAY ACCESS EASEMENT (D-2) All that tract or parcel of land lying and being in Land Lots 172 and 209 of the 20th District, 2nd Section of Cobb County, Georgia, being part of Lot 2E of Barrett Center Auto Park, and being more particularly described as follows.

To find the TRUE POINT OF BEGINNING, begin at a point at the intersection of the northerly right-of-way of Roberts Boulevard with the northerly right-of-way of Barrett Parkway if both rights-of-way are extended to form an angle (both roads having a 120 foot right-of-way) thence North 55 degrees 36 minutes 28 seconds East along the extended and actual northerly right-of-way of Barrett Parkway for a distance of 615.00 feet to a point and the TRUE POINT OF BEGINNING.

THENC leaving the northerly right-of-way of Barrett Parkway on a bearing of North 34 degrees 23 minutes 31 seconds West for a distance of 340.26 feet to a point; THENC South 38 degrees 52 minutes 51 seconds West for a distance of 199.85 feet to a point; THENC South 38 degrees 52 minutes 51 seconds West for a distance of 494.72 feet to a point;

LEGAL DESCRIPTION BARRETT PARKWAY ACCESS EASEMENT (D-3) All that tract or parcel of land lying and being in Land Lots 172 and 209 of the 20th District, 2nd Section of Cobb County, Georgia, being part of Lot 2E of Barrett Center Auto Park, and being more particularly described as follows.



- 1. SURVEY REFERENCES: (a) CORRECTIVE WARRANTY DEED VESTING TITLE IN HEARCOCO, L.P. RECORDED IN DEED BOOK 12153, PAGE 19 OF COBB COUNTY, GEORGIA RECORDS. (b) FINAL PLAT OF BARRETT CENTER AUTO PARK PREPARED BY WATTS & BROWNING ENGINEERS, INC., DATED DECEMBER 6, 1990 AND LAST REVISED FEBRUARY 25, 1992, RECORDED IN PLAT BOOK 138, PAGE 30 OF COBB COUNTY, GEORGIA RECORDS. (c) ALTA/ACSM LAJUE TITLE SURVEY FOR TOWN CENTER CHEVROLET-GEN. INC., L.L.C., DATED 2-15-99, AND LAST REVISED 4-14-99, PREPARED BY INTEGRATED SYSTEMS & ENGINEERING, INC. (d) SURVEY FOR KENNESAW MOTORS, INC., DATED AUGUST 18, 1989 AND LAST REVISED FEBRUARY 20, 1990, PREPARED BY WATTS & BROWNING ENGINEERS, INC. 2. ACCORDING TO COBB COUNTY TAX RECORDS, SUBJECT PROPERTY CONSISTS OF THE FOLLOWING TAX PARCELS: 20017200110 - 2,954 ACRES 20017200250 - 5,933 ACRES 20020900170 - 2,624 ACRES STREET ADDRESS APPEARS TO BE 964 ERNEST BARRETT PARKWAY, KENNESAW, GA 30144 3. NO PORTION OF THIS PROPERTY LIES WITHIN AN AREA DEFINED AS BEING WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED ON F.I.R.M. COMMUNITY NO. 10670 MAP NO. 00390, COVERING COBB COUNTY, GA, EFFECTIVE DATE DECEMBER 18, 2008. PROPERTY IS LOCATED IN SHADING (NOT SHADDED) BEING DEFINED AS AREAS DETERMINED TO BE OUTSIDE OF A 2% ANNUAL FLOOD FLOODPLAIN AS PER SAID PANEL. 4. SUBJECT PROPERTY IS CURRENTLY ZONED GC (GENERAL COMMERCIAL) ACCORDING TO COBB COUNTY GIS. MINIMUM BUILDING SETBACKS FOR ZONING ARE AS FOLLOWS: FRONT YARD: 50 FEET FROM STREET RIGHT-OF-WAY (ARTERIAL) SIDE YARD: 40 FEET FROM STREET RIGHT-OF-WAY (COLLECTOR OR LOCAL) REAR YARD: 30 FEET MAXIMUM BUILDING HEIGHT IS 4 STORIES, NOT TO EXCEED 50 FEET MINIMUM LOT WIDTH AT REAR YARD SETBACK IS 60 FEET (SOURCE: OFFICIAL CODE OF COBB COUNTY, GA DATED MARCH 23, 2010 PER MUNICODE.COM (** ADDITIONAL BUFFERS OR ZONING REGULATIONS MAY APPLY **) CURRENT ZONING OF GC (WITH STIPULATIONS) PER ZONING CASE #164 OF 1988 DATED 8-16-88. REVISIONS OR AMENDMENTS TO STIPULATIONS WERE APPROVED ON 01-26-1993, 03-17-1998, 03-16-1999, 07-20-1999, & 11-16-1999. 5. THE LOCATION OF UNDERGROUND UTILITIES SHOWN IS APPROXIMATE BASED ON ABOVE-GROUND STRUCTURES AND ON PUBLIC RECORDS AND ON ADDITIONAL LOCATION PROVIDED BY RHD UTILITY LOCATING, 630 TERRACE STREET, ATLANTA, GA 30318 - (404) 874-8855 ON JULY 27, 2010. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES AND/OR STRUCTURES MAY EXIST. THE SURVEYOR MAKES NO CERTIFICATIONS AS TO THE ACCURACY AND COMPLETENESS OF THE LOCATIONS SHOWN HEREON. 6. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION RELAYED BY THE RECORD EASEMENTS, COVENANTS, RESTRICTIONS AND OTHER DOCUMENTS THAT MIGHT AFFECT THE SUBJECT TITLE TO THE SUBJECT PARCEL WAS REVIEWED FROM THE SUBJECT PARCEL WORK ORDER NUMBER 001719 FOR TITLE INSURANCE NUMBER 2-22502(RS), EFFECTIVE DATE: SEPTEMBER 30, 2010. FINISH A GALLOWAY TITLE COMPANY COMMENTS ADDRESSING EXCEPTIONS LISTED IN PART II - SCHEDULE B OF SAID COMMITMENT MAY BE FOUND UNDER "TITLE EXCEPTIONS" ON THIS SHEET. 7. SURVEY DATUM VERIFIED BY GPS: BEARINGS SHOWN ARE GRID NORTH, GEORGIA WEST ZONE (NAD83). DISTANCES SHOWN ARE SURFACE DISTANCES. DISTANCES SHOWN ARE NAVD83. NOTE: BEARINGS FROM RECORD SUBDIVISION PLAT MUST BE ROTATED TO ADJUST TO STATE PLANE COORDINATE SYSTEM. 8. FIELD WORK FOR THIS SURVEY COMPLETED ON AUGUST 2, 2010. 9. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A MEASUREMENT UNCERTAINTY OF ONE FOOT IN 103,951 FEET. AN ANGULAR ERROR OF 8.3 SECONDS PER ANGLE POINT WAS ADJUSTED USING THE COMPASS RULE. ANGULAR AND LINE MEASUREMENTS WERE OBTAINED USING A TOPCON GTS-303 TOTAL STATION. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS ACCURATE AS FOLLOWS: OVERALL PARCEL (A) 1 FOOT IN 144,103 FEET = 10,663 ACRES (464,478.4 SQ FT) NORTH PARCEL (B-1) 1 FOOT IN 186,599 FEET = 5,709 ACRES (248,331.9 SQ FT) SOUTH PARCEL (B-2) 1 FOOT IN 757,238 FEET = 4,9621 ACRES (216,148.2 SQ FT) 10. SITE CONTAINS A TOTAL 907 STRIPPED PARKING SPACES INCLUDING 2 HANDICAP SPACES. CONDITION OF STRIPING IN SOME AREAS IS MARGINAL. 11. PROPERTY HAS ACCESS TO AUTO PARK DRIVE AND BARRETT PARKWAY, BOTH BEING PUBLICLY DEDICATED. 12. RESUBDIVISION OF PROPERTY INTO "NORTH PARCEL" AND "SOUTH PARCEL" AS SHOWN IS AS REQUESTED BY CLIENT AND HAS NOT BEEN APPROVED BY COBB COUNTY. ADDITIONAL EASEMENTS AND RESTRICTIONS ARE DELETED AT THE REQUEST OF CLIENT AS SHOWN IN THE PROPOSED DECLARATION OF COVENANTS, RESTRICTIONS AND EASEMENTS, DRAFT DATED JULY 26, 2010.

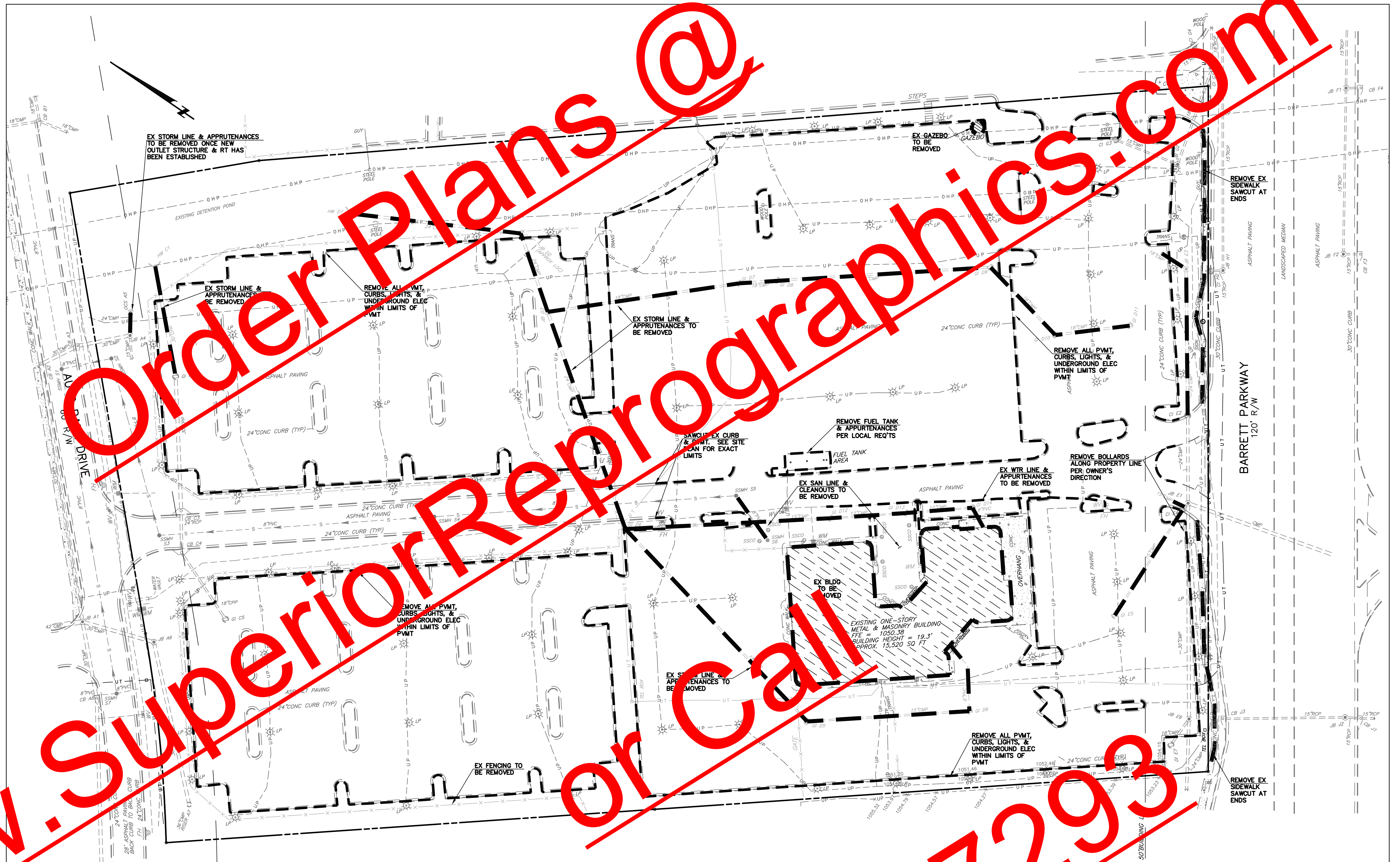
Lloyd C. McNally, Jr., R.L.S. No. 2040. DATE 12-24-2010

NO.	1	2	3
REVISIONS			
NO.	1	2	3
DATE	09/15/2010	09/27/2010	12/24/2010
TITLE EXCEPTIONS CHICAGO TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE NUMBER 2-22502(RS), EFFECTIVE DATE: SEPTEMBER 30, 2010. PART II - SCHEDULE B LISTS THE FOLLOWING: (h) Permanent Sidewalk Easement from Hearcoco L.P. to Cobb County, Georgia, dated October 11, 2000, filed for record on September 6, 2000 at 9:42 a.m., recorded in Deed Book 13313, Page 911 (affects a portion of Parcel B-1 as shown hereon) (i) Permanent Sidewalk Easement from Hearcoco L.P. to Cobb County, Georgia, dated October 11, 2000, filed for record on September 6, 2000 at 9:42 a.m., recorded in Deed Book 13313, Page 913, (affects a portion of Parcel B-1 as shown hereon) (j) Easement from Hearcoco L.P. to Barrett Center Auto Park and Georgia Power Company, dated February 13, 2001, filed for record on March 26, 2001 at 11:29 a.m., recorded in Deed Book 13343, Page 96, (affects records) (k) Easement from ALTA/ACSM Land Title Survey For: Seaman Development Corp., Chicago Title Insurance Company and Galloway Title and Escrow, LLC, dated August 27, 2010 and last revised December 24, 2010; By: McNally & Patrick, Inc. and bearing the seal of Lloyd C. McNally, Jr., R.L.S. No. 2040. (l) Easement from ALTA/ACSM Land Title Survey For: Seaman Development Corp., Chicago Title Insurance Company and Galloway Title and Escrow, LLC, dated August 27, 2010 and last revised December 24, 2010; By: McNally & Patrick, Inc. and bearing the seal of Lloyd C. McNally, Jr., R.L.S. No. 2040. (m) Easement from ALTA/ACSM Land Title Survey For: Seaman Development Corp., Chicago Title Insurance Company and Galloway Title and Escrow, LLC, dated August 27, 2010 and last revised December 24, 2010; By: McNally & Patrick, Inc. and bearing the seal of Lloyd C. McNally, Jr., R.L.S. No. 2040. (n) Easement from ALTA/ACSM Land Title Survey For: Seaman Development Corp., Chicago Title Insurance Company and Galloway Title and Escrow, LLC, dated August 27, 2010 and last revised December 24, 2010; By: McNally & Patrick, Inc. and bearing the seal of Lloyd C. McNally, Jr., R.L.S. No. 2040. 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REVISIONS: 09/15/2010: TOPOGRAPHIC CONTOUR LINES REMOVED FOR CLARITY. 09/27/2010: REVISED LEGAL DESCRIPTIONS OF PROPERTY, EASEMENTS PER CLIENT REQUEST AND REVISED NUMBER OF TITLE EXCEPTIONS (I) & (V). 12/24/2010: REVISED PARCELS B-1, B-2 & D-2. ADDRESSED ATTORNEY & CLIENT COMMENTS.			
ALTA/ACSM LAND TITLE SURVEY FOR: SEAMAN DEVELOPMENT CORP., CHICAGO TITLE INSURANCE COMPANY AND GALLOWAY TITLE AND ESCROW, LLC 10,663 ACRES (464,478.4 SQ FT) - TOTAL LOTS 1E & 2E - BARRETT CENTER AUTO PARK LAND LOTS 172, 173 & 209 OF THE 20 TH DISTRICT - 2ND SECTION - COBB COUNTY, GEORGIA			
SCALE: 1"=40'			
DATE: 8-27-2010			
SHEET 2 OF 2			

McNally & Patrick
1066 HWY. 28 SOUTH - LAWRENCEVILLE, GA 30044
PHONE: 770-968-8630 FAX: 770-968-0884

DEMOLITION NOTES:

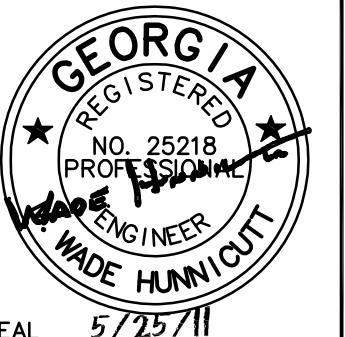
- EXISTING CONDITIONS TAKEN FROM "ALTA/ASCM LAND TITLE SURVEY FOR SEAMAN DEVELOPMENT CORP." BY MCNALLY & PATRICK DATED 8/27/10.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL AUTHORITY, AND GA D.O.T. STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- INITIAL EROSION CONTROL MEASURES TO BE IN PLACE PRIOR TO DEMOLITION WORK. THE EXCEPTION TO THIS IS THE PAVEMENT THAT MUST BE REMOVED IN ORDER TO INSTALL EROSION CONTROL DEVICES (DIVERSION DITCHES & SEDIMENT BASINS). SILT FENCES AND CONSTRUCTION EXIT MUST BE INSTALLED PRIOR TO ANY OTHER WORK.
- CONTRACTOR SHALL INSTALL NECESSARY BARRICADES, SUFFICIENT LIGHTS AND OTHER TRAFFIC CONTROL MEASURES FOR THE PROTECTION AND SAFETY OF THE PUBLIC. TRAFFIC CONTROL DEVICES AND MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- CONTRACTOR SHALL NOTIFY LOCAL AUTHORITY INSPECTOR PRIOR TO CONSTRUCTION.
- ALL DEMOLITION AND CONSTRUCTION DEBRIS SHALL BE DISPOSED OF OFFSITE IN A LEGAL MANNER.
- SAWCUT ALL PAVEMENT, CURBS, & SIDEWALKS WHERE REMOVED ADJACENT TO ITEMS TO REMAIN.
- ALL UTILITIES TO BE REMOVED ARE TO BE TERMINATED PER LOCAL AUTHORITIES STANDARDS & SPECIFICATIONS.
- EXISTING LIGHTING AND TRANSFORMERS TO BE REMOVED PER DIRECTION OF GEORGIA POWER (WHERE APPLICABLE) & OWNER.
- ANY CONSTRUCTION TRAILERS TO BE PERMITTED THROUGH THE ZONING DIVISION.



DEMOLITION PLAN

24 HOUR EMERGENCY CONTACT:
JEFF FINKEL (678-475-4766)

WWW.SuperiorReprographics.com
or Call 770-944-7293



pharrengineering
PHARR ENGINEERING ASSOCIATES, LLC
CIVIL ENGINEERS
3050 FIVE FORKS TRUCKING ROAD, SUITE 6490
LUBBICK, GEORGIA 30047
TEL: 770-447-4400 / 770-447-4424 FAX

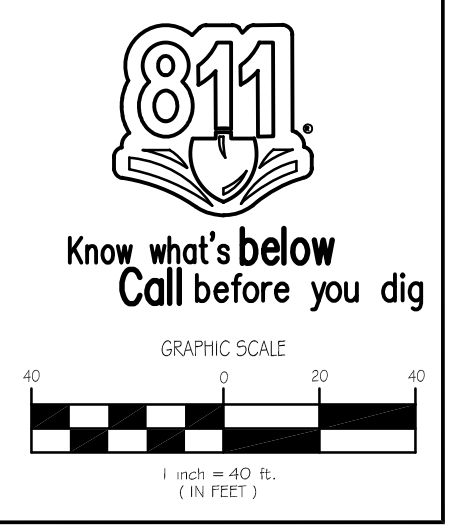
ROOMS TO GO
964 BARRETT PARKWAY
COBB COUNTY, GEORGIA
BULLDOG KN LLC
11540 E US HIGHWAY 92
SEFFNER, FLORIDA 33584

REVISIONS :

NO. & DATE	DESCRIPTION
No. 1 5/25/11	COUNTY COMMENTS

DRAWING TITLE :
DEMOLITION PLAN

DATE : 12/21/10
PROJECT : 091283
DRAWING NO. : C-2
SEQ. OF
SCALE : 1" = 40'



EROSION CONTROL NOTES:

- ALL DISTURBED AREA SHALL HAVE EROSION CONTROL PROVIDED IN ACCORDANCE WITH THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND LOCAL ISSUING AUTHORITY.
- THE NOTATION (CXX) REFERS TO THE GEORGIA UNIFORM CODING SYSTEM AS DETAILED IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
- EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED. MAINTAIN EROSION CONTROL DEVICES AT ALL TIMES. SEDIMENT TRAPS AND SILT FENCES REQUIRE CLEANING AND EXCAVATION TO OBTAIN ORIGINAL VOLUME WHEN THEY BECOME HALF FILLED WITH SILT. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTOR TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- 24 HOUR EMERGENCY CONTACT: JEFF FINKEL 678-475-4766
- ALL UTILITY SERVICE TO ADJOINING PROPERTY MUST BE MAINTAINED AT ALL TIMES.
- PERMANENT CUT AND FILL SLOPES NOT TO EXCEED 2H:1V.
- SITE AREA = 10.66 ACRES, DISTURBED AREA = 7.16 ACRES.
- ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY LOCAL ISSUING AUTHORITY. DISTURBED AREAS LEFT IDLE FOR TWO (2) TO FOUR (4) WEEKS AND NOT TO FINAL GRADE, AND DISTURBED AREAS LEFT IDLE FOR FOUR (4) WEEKS OR MORE WILL BE ESTABLISHED WITH TEMPORARY VEGETATION (OV). ALL AREAS FINISHED GRADE WILL BE ESTABLISHED WITH TEMPORARY VEGETATION WITHIN TWO (2) WEEKS.
- WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDING AREA WITHIN 24 HOURS OF SEEDING.
- DURING UNSUITABLE GROWING SEASONS, MULCH WILL BE USED AS A TEMPORARY COVER (D+S). ON SLOPES 4:1 OR STEEPER, MULCH WILL BE ANCHORED.
- EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE.
- SEDIMENT AND EROSION CONTROL MEASURES AND PRACTICES TO BE INSPECTED DAILY AND AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE-HALF THE CAPACITY OF THE DEVICE.
- ALL DISTURBED AREAS TO BE GRASSED BY SITEWORK CONTRACTOR AS SOON AS CONSTRUCTION PHASES PERMIT.
- THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOW OF MUD ONTO ADJACENT ROADS & DRIVES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLE OFFSITE ONTO ADJACENT ROADS & DRIVES OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- DEMOLITION MATERIAL SHALL BE REMOVED FROM THE PROJECT AREA AND DISPOSED OF LEGALLY. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- DUST CONTROL (DU) NOTES:
 * SPRAY-ON ADHESIVES: THESE ARE USED ON MINERAL SOILS NOT EFFECTIVE ON MUCK SOILS. KEEP TRAFFIC OFF THESE AREAS.
 * TILLAGE: THIS PRACTICE IS DESIGNED TO ROUGHEN AND BRING CLODS TO THE SURFACE. IT IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE WIND EROSION STARTS. BEGIN FLOW BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TINED HARROWS, AND SMAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
 * IRRIGATION: THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS WET. REPEAT AS NEEDED.
 * BARRIERS: SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLE TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 15 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING WIND EROSION.
 * CALCIUM CHLORIDE: APPLY AT A RATE THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.
- ALL SLOPES GREATER THAN 2.5 TO 1 AND GREATER THAN 10 FEET IN HEIGHT REQUIRE MATTING BLANKETS.
- CONTRACTOR TO MAINTAIN AREA ON SITE FOR CONCRETE WASHDOWN OF TOOLS, CHUTES, HOPPERS AND THE REAR OF THE TRUCKS. ALL MATERIALS AND RUNOFF FROM AREA TO BE KEPT ON SITE UNTIL DISPOSED OF IN LEGAL MANNER. WASHOUT OF THE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED.
- CONTRACTOR TO MAINTAIN AREA ON SITE FOR STORAGE OF PETROLEUM PRODUCTS AND ENSURE ALL SPILLS AND RUNOFF ARE KEPT ON SITE. CONTRACTOR TO CONTACT GOVERNING AUTHORITIES IN THE EVENT OF A SPILL OF REPORTABLE QUANTITIES AS REQ'D BY LAW.
- CONTRACTOR TO STORE, CLEAN, AND DISPOSE ALL PAINT AND/OR CHEMICALS IN A LEGAL MANNER.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED BY CONTRACTOR AT HIS OWN EXPENSE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE REVEGETATED WITH MULCH OR TEMPORARY SEEDING. PERMITS TO THE E&P CODE WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S W/ HYDRAULIC PROCESSES MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
- NO MATERIAL (INCLUDING WASTE MATERIAL) SHALL BE CHARGED TO STATE WATERS EXCEPT AS AUTHORIZED BY SECTION 404 PERMIT.
- THIS SITE IS SERVED BY A PUBLIC SANITARY SEWER. A PERMIT FROM THE LOCAL AUTHORITY IS REQUIRED. ALL WASTE DISPOSAL SHALL BE IN ACCORDANCE WITH THIS PERMIT.
- NO ON-SITE WETLANDS OR STATE WATERS LOCATED WITHIN 200 FEET OF THE PROJECT SITE.
- NON-EXEMPT: CONSTRUCTION SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS (IF APPLICABLE) WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES & PERMITS.
- EXISTING RUNOFF COEFFICIENT CN=55.
- PROPOSED RUNOFF COEFFICIENT CN=89.
- PROJECT LOCATED IN LAND LOTS 172, 173 & 209 OF DISTRICT 20, 2nd SECTION.
- A VISIBLE MEASURING POST/STAKE/MARKING FOR CLEAN OUT IN THE TEMPORARY SEDIMENT BASIN MUST BE PROVIDED.
- COORDINATES FOR CONSTRUCTION EXIT ARE N34°00'15" W84°34'49".
- AFTER CONSTRUCTION, IN ADDITION TO THE STORMWATER DETENTION FACILITY, TWO CRYSTAL STREAMS MECHANICAL WATER QUALITY UNITS WILL PROVIDE WATER QUALITY FOR THE SITE. PROJECT RECEIVING WATER IS NOONDAY CREEK IN THE ETOWAH RIVER BASIN.



PRIMARY EROSION CONTROL PLAN

24 HOUR EMERGENCY CONTACT: JEFF FINKEL (678-475-4766)

NPDES NOTES:

- ALL REPORTING AND APPROPRIATE RESPONSE SHALL BE IN ACCORDANCE WITH NPDES PERMIT NO. GAR 100001.
- STORMWATER SAMPLING TYPE SHALL BE A "GRAB SAMPLE" IN ACCORDANCE WITH EPA ANALYTICAL METHOD 823. SAMPLING PROCEDURES SHALL BE IN ACCORDANCE WITH NPDES PERMIT NO. GAR 100001.
- SAMPLING SHALL OCCUR FOR THE FOLLOWING EVENTS:
 A. THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH THAT OCCURS AFTER ALL CLEARING AND GRUBBING OPERATIONS HAVE BEEN COMPLETED.
 B. THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH THAT OCCURS EITHER 90 DAYS AFTER THE FIRST SAMPLING EVENT OR AFTER ALL MASS GRADING OPERATIONS HAVE BEEN COMPLETED.
 C. FOR EACH SUBSEQUENT RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH IF A BMP FAILURE IS FOUND TO HAVE OCCURRED.
- SAMPLES SHALL BE TAKEN AT THE POINTS LABELED SAMPLEPOINTS. SAMPLES FROM THE SAMPLE POINT SHALL BE OBTAINED IN ACCORDANCE WITH NPDES PERMIT NO. GAR 100001.
- SAMPLES TO MAINTAIN 75 NTU OR LESS PER APPENDIX B FOR 2-ACRE SITE IN 0-4.99 ACRES WARM WATER WATERSHED.
- INSPECTIONS BY A QUALIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE SHALL BE IN ACCORDANCE WITH GAR 100001.
- INSPECTIONS BY A QUALIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE AND THE ASSOCIATED RECORDS SHALL BE KEPT ON SITE IN COMPLIANCE WITH GAR 100001.
- THE NOTICE OF INTENT AND NOTICE OF TERMINATION SHALL BE FILED WITH EPD AND LOCAL AUTHORITY IF APPLICABLE.
- IN THE EVENT THAT THE PROJECT WILL HAVE SECONDARY PERMITTEES (NOT PLANNED AT THIS TIME), PRIMARY PERMITTEE WILL PROVIDE COPIES OF ALL EROSION CONTROL PLANS (AND SUBSEQUENT REVISIONS) TO THE SECONDARY PERMITTEES. AT THAT TIME, THE SECONDARY PERMITTEES WILL BE REQUIRED TO SIGN THIS PLAN ACKNOWLEDGING RECEIPT OF DOCUMENTS.
- REVISIONS TO THE E&PAC PLAN WHICH HAVE A SIGNIFICATION EFFECT ON BMP'S W/HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
- ENGINEER OF RECORD TO IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMP'S WITHIN 7 DAYS AFTER INITIAL INSTALLATION.

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATION DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY DIRECT SUPERVISION, AND THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE SYSTEM AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.

Wade Hunnicutt # 25218 GA PE REGISTERED
 NAME # 112 GA LEVEL II
 SIGNATURE DATE 12/21/10 LOCATION

COBB COUNTY NOTES:

- EROSION CONTROL PRACTICES MUST COMPLY WITH THE MINIMUM BEST MANAGEMENT PRACTICES FOR EROSION CONTROL CODE 25-2-5 AND 25-2-6 COMPLY WITH THE STANDARDS/SPECIFICATIONS IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA".
- IN CONCENTRATED FLOW AREAS SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT TEN FEET OR GREATER, AND CUTS WITH STREAM BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKETS.
- DISTURBED AREAS LEFT IDLE FOR 5 DAYS AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION (OV) AS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION (OV) IMMEDIATELY UPON COMPLETION.
- WHEN PLANTING VEGETATION, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDING AREA WITHIN 24 HOURS OF SEEDING.
- COBB COUNTY LAND DISTURBANCE PERMIT/BUILDING PERMITS MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A COUNTY ROAD OR STREET.
- EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ACTIVITY. PLEASE CALL (770) 528-2134 WITH ENOUGH LEAD-TIME FOR AN INSPECTION TO MEET YOUR SCHEDULE.
- THE USE OF PERMITS (PAMS) IS ACCEPTED AS A BMP AS RECOMMENDED BY THE STATE SOIL & WATER CONSERVATION COMMISSION BMP "GREEN BOOK". COBB COUNTY ALSO REQUIRES THAT POLYMERS USED TO STABILIZE CONSTRUCTION SITES MUST BE USED IN CONJUNCTION WITH MULCHING AND OR HYDRO SEEDING.

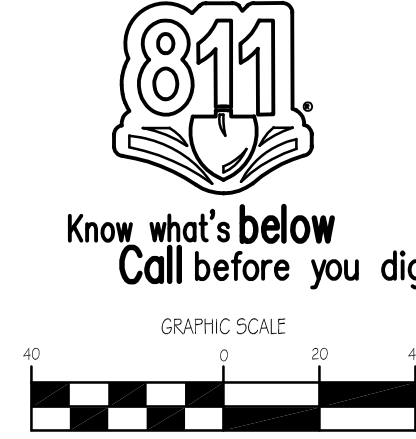
APPENDIX 1 BMP'S:

THE FOLLOWING ITEMS ARE REQUIRED FOR THIS PROJECT:

- A 4'x8' SIGN MUST BE CONSTRUCTED ON THE PROJECT SITE DURING CONSTRUCTION AND VISIBLE FROM THE ADJACENT ROAD. THE SIGN MUST INCLUDE THE PRIMARY PERMITTEE'S NAME AND TELEPHONE NUMBER.
- USE ANIONIC POLYACRYLAMIDE (PAM) AND/OR MULCH TO STABILIZE AREAS LEFT DISTURBED FOR MORE THAN SEVEN CALENDAR DAYS IN ACCORDANCE WITH PART III.D.1 OF THE NPDES PERMIT GAR 100003.
- USE MULCH FILTER BERMS IN ADDITION TO A SILT FENCE, ON THE SITE PERIMETER WHEREVER STORM WATER MAY BE DISCHARGED.
- APPLY THE APPROPRIATE GOOD APPROVED EROSION CONTROL MATTING OR BLANKETS OR BONDED FIBER MATRIX TO ALL SLOPES GREATER THAN 3:1.

THE PROPOSED EROSION AND RUNOFF CONTROL MEASURES ARE IN COMPLIANCE WITH THE COBB COUNTY SEDIMENT CONTROL AND FLOOD PROTECTION REGULATIONS AND WILL NOT INCREASE THE RUNOFF RATE FROM THE SITE FOR RAINSTORMS WITH A RETURN PERIOD OF 2, 5, 10, 25, 50 AND/OR 100 YEARS.

Wade Hunnicutt # 112 GA LEVEL II
 SIGNATURE DATE 12/21/10



pharrengineering
 PHARR ENGINEERING ASSOCIATES, LLC
 CIVIL ENGINEERS
 3050 RIVE ECKHART TRAIL ROAD, SUITE 6490
 LUBBOCK, GEORGIA 30047
 TEL: 770-447-4400 / 770-447-4442 FAX

ROOMS TO GO
 964 BARRETT PARKWAY
 COBB COUNTY, GEORGIA
BULLDOG KN LLC
 11540 E. U.S. HIGHWAY 92
 SEFFNER, FLORIDA 33584

REVISIONS:

NO. & DATE	DESCRIPTION
No. 1 5/25/11	COUNTY COMMENTS

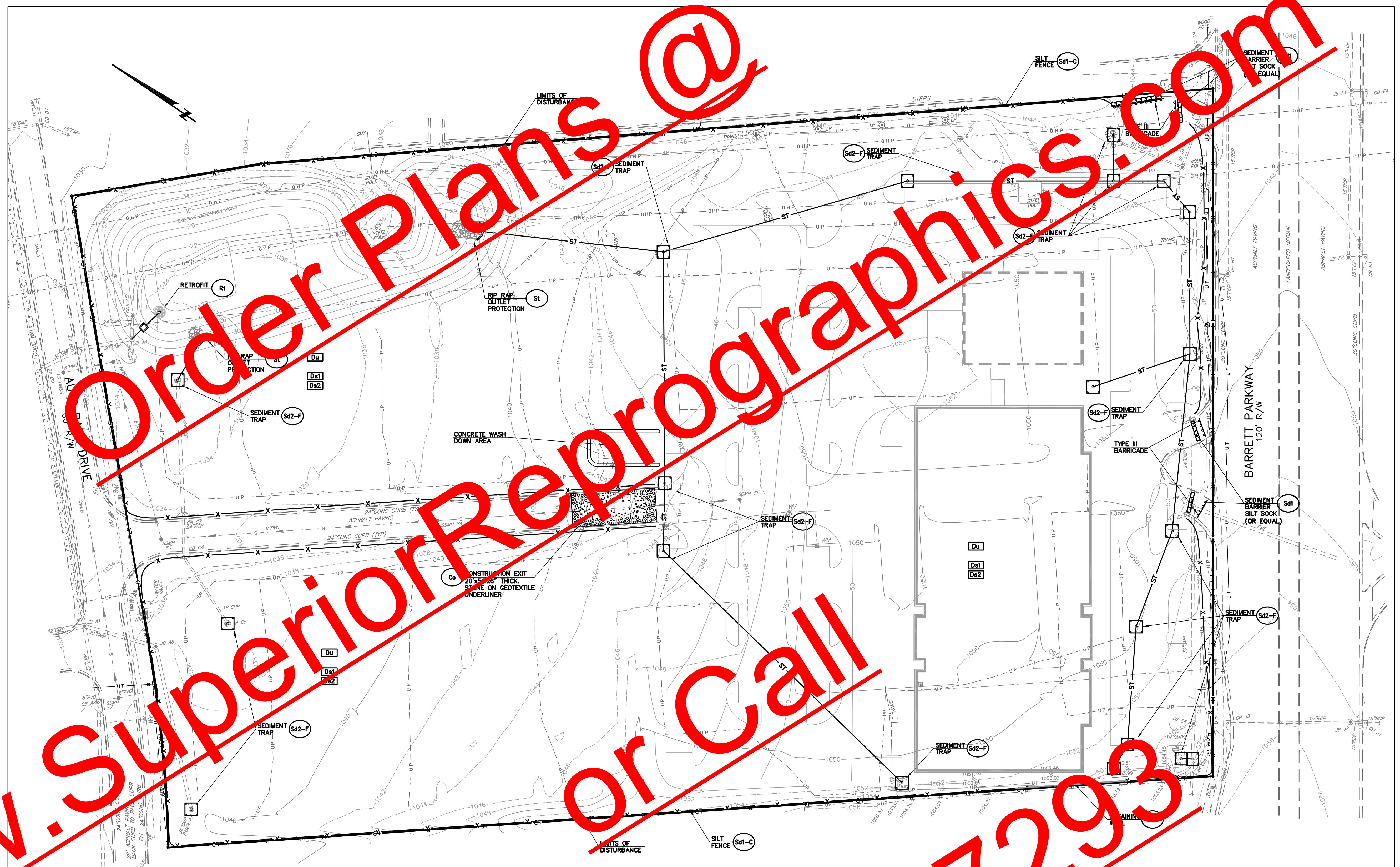
DRAWING TITLE:
 INITIAL EROSION CONTROL PLAN

DATE: 12/21/10
 PROJECT: 091283
 DRAWING NO.: C-3.1
 SEQ. OF: _____
 SCALE: 1" = 40'

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GENERAL NOTES:

- CONTRACTOR TO ENSURE RUNOFF IS DIRECTED TO SEDIMENT CONTROL DEVICES AND NO RUNOFF LEAVES THE SITE UNTREATED. CONTRACTOR IS RESPONSIBLE FOR APPROPRIATE GRADING OPERATIONS FOR THIS TO WORK IN CONJUNCTION WITH SITEWORK & BUILDING CONSTRUCTION.
- SEE DWG C-3.1 FOR EROSION CONTROL NOTES THAT PERTAIN TO ALL PHASES OF THE EROSION CONTROL PLANS.



INTERMEDIATE EROSION CONTROL PLAN

24 HOUR EMERGENCY CONTACT:
JEFF FINKEL (678-475-4766)

SITEWORK CONSTRUCTION SCHEDULE

ITEM DESCRIPTION	MONTH 1			MONTH 2			MONTH 3			MONTH 4			MONTH 10		
	1	2	3	1	2	3	1	2	3	1	2	3	1	2	3
MOBILIZATION	█														
EROSION CONTROL	█														
INITIAL PERIMETER BMP'S	█														
SEDIMENT STORAGE BMP'S	█														
EROSION CONTROL MAINTENANCE				█	█	█	█	█	█	█	█	█	█	█	█
TEMPORARY STABILIZATION				█	█	█	█	█	█	█	█	█	█	█	█
CLEARING & DEMOLITION				█	█	█	█	█	█	█	█	█	█	█	█
GRADING				█	█	█	█	█	█	█	█	█	█	█	█
STORM DRAINAGE				█	█	█	█	█	█	█	█	█	█	█	█
SANITARY SEWER				█	█	█	█	█	█	█	█	█	█	█	█
FINAL STABILIZATION										█	█	█	█	█	█
BUILDING CONSTRUCTION										█	█	█	█	█	█
PAVING										█	█	█	█	█	█
GRASSING & LANDSCAPING										█	█	█	█	█	█

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.



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COBB COUNTY, GEORGIA
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SEFFNER, FLORIDA 33584

REVISIONS:

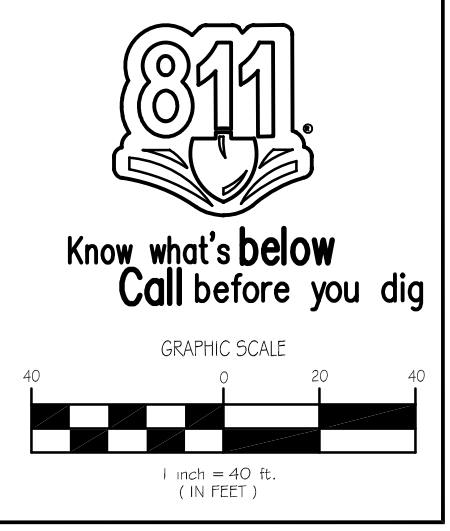
NO. & DATE	DESCRIPTION
No. 1 5/25/11	COUNTY COMMENTS

DRAWING TITLE:
INTERMEDIATE
EROSION CONTROL
PLAN

DATE: 12/21/10
PROJECT: 091283

DRAWING NO.:
C-3.2

SEQ. OF
SCALE: 1" = 40'



GENERAL NOTES:

- CONTRACTOR TO ENSURE RUNOFF IS DIRECTED TO SEDIMENT CONTROL DEVICES AND NO RUNOFF LEAVES THE SITE UNTREATED. CONTRACTOR IS RESPONSIBLE FOR APPROPRIATE GRADING OPERATIONS FOR THIS TO WORK IN CONJUNCTION WITH SITEWORK & BUILDING CONSTRUCTION.
- SEE DWG C-3.1 FOR EROSION CONTROL NOTES THAT PERTAIN TO ALL PHASES OF THE EROSION CONTROL PLANS.



FINAL EROSION CONTROL PLAN

24 HOUR EMERGENCY CONTACT:
JEFF FINKEL (678-475-4766)

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or Call 770-944-7293

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811
Know what's below
Call before you dig

GRAPHIC SCALE
1" = 40' (IN FEET)

GEORGIA REGISTERED PROFESSIONAL ENGINEER
JEFF HANNITT
SEAL 5/25/11

STATE OF GEORGIA WATER CONSERVATION ENGINEER
SEAL

pharrengineering
PHARR ENGINEERING ASSOCIATES, LLC
CIVIL ENGINEERS
3050 FIVE FORKS TRUCKING ROAD, SUITE 6590
LUBURN, GEORGIA, 30047
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ROOMS TO GO
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COBB COUNTY, GEORGIA
BULLDOG KN LLC
11540 E US HIGHWAY 92
SEFFNER, FLORIDA 33584

REVISIONS :

NO. & DATE	DESCRIPTION
No. 1 5/25/11	COUNTY COMMENTS

DRAWING TITLE :
FINAL EROSION CONTROL PLAN

DATE : 12/21/10
PROJECT : 091283
DRAWING NO. :
C-3.3
SEQ. OF
SCALE : 1" = 40'

SITE INFORMATION:

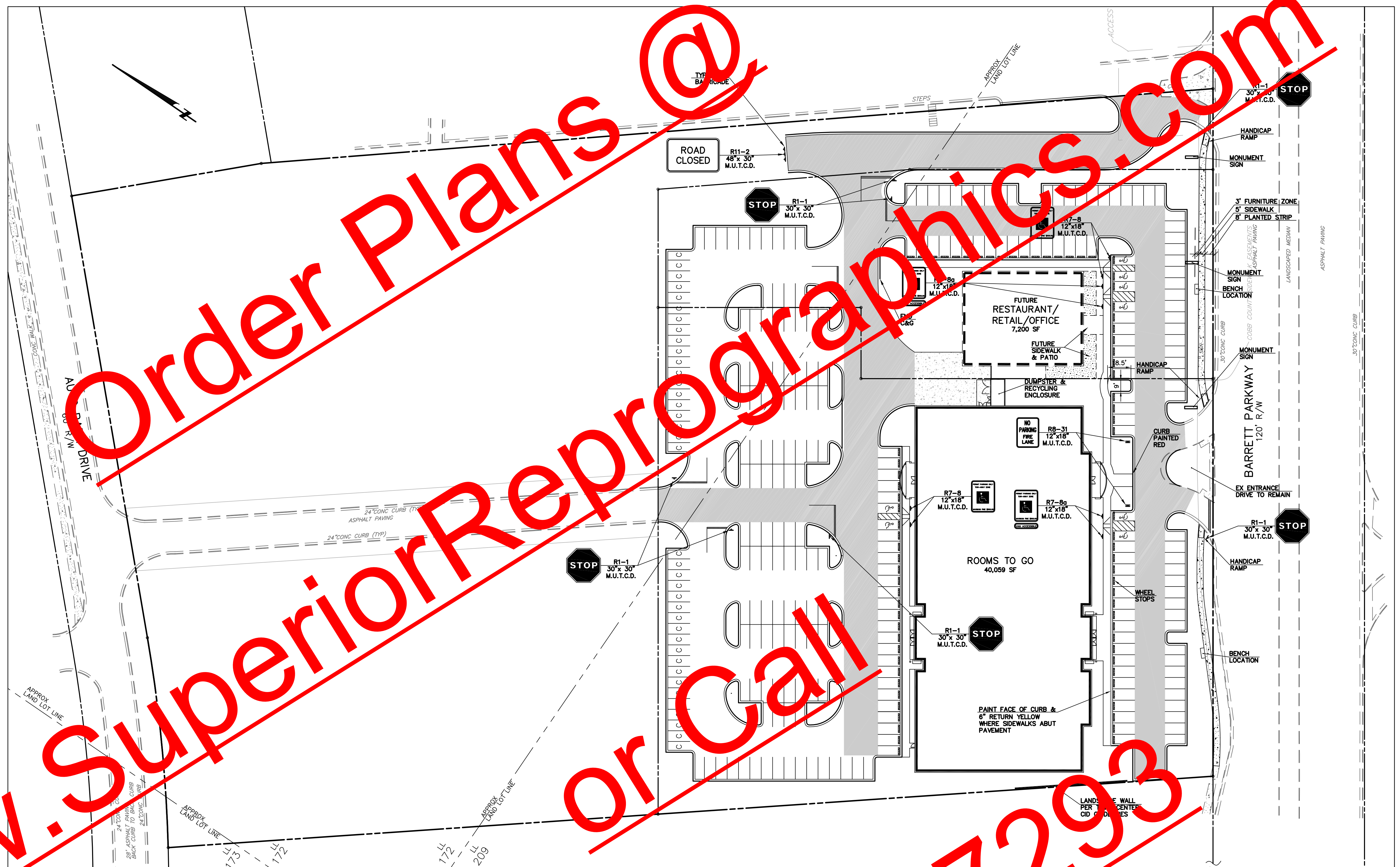
- TOTAL SITE AREA = 10.66 ACRES
- DISTURBED AREA = 7.16 ACRES
- TOTAL BUILDING AREA = 40,059 SF
- TOTAL PARKING REQ'D = 283
- TOTAL PARKING PROVIDED = 283
- ONE STORY RETAIL AND ONE STORY RESTAURANT/RETAIL/OFFICE
- PROPERTY ZONED CRC(COMMUNITY RETAIL COMMERCIAL)

NOTES:

- ALL CONSTRUCTION TO CONFORM TO LOCAL AUTHORITY'S STANDARDS & SPECIFICATIONS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS SHOWN FOR INFORMATION ONLY. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- NOMINAL RADII IS 2' UNLESS OTHERWISE NOTED.
- ALL SIDEWALK & PAVEMENT IS TO BE SAWCUT WHEN REMOVED AND/OR REPLACED.
- DRIVE ENTRANCES PER GEORGIA DOT REQUIREMENT.
- WHEELSTOPS TO BE INSTALLED AT LOCATIONS SHOWN ON THE DRAWING.
- SEE ARCHITECT'S PLANS FOR PEDESTRIAN SIGNAGE AND HARDSCAPE INFORMATION.
- PROJECT DESIGNED IN ACCORDANCE WITH ADA REQUIREMENTS.
- 30" CURB & GUTTER USED ON STATE ROUTES TO ENDS OF RADIUS RETURNS. 24" CURB & GUTTER USED ON SITE.
- ALL STREET FURNITURE SHOULD BE PLACED IN THE FURNITURE ZONE BEHIND THE SIDEWALK. TRASHCAN AND BIKE RACK SHOULD BE LOCATED AT THE ENTRANCE AREA. AT LEAST TWO BENCHES ARE NEEDED AT SEPARATE LOCATIONS. FURNITURE ZONE TO BE PAVED PER TOWN CENTER CID GUIDELINES (PG 12). DECORATIVE SIGN POSTS AND WAYFINDING SIGNAGE PER GUIDELINES (PG 13). LIGHTING PER GUIDELINES (PG 9).
- NO PERMANENT SIGN(S), FLAG POLE(S), PROPOSED FIRE HYDRANTS OR POWER TRANSFORMERS WILL BE PLACED IN CONFLICT WITH AN ORDINANCE CODED OR APPROVED TREE PLANTING LOCATION.
- THE COBB COUNTY ARBORIST OR LANDSCAPE ARCHITECT MUST APPROVE THE SITE LIGHTING PLAN. LIGHT POLES ARE NOT PERMITTED IN PARKING PENINSULAS, ISLANDS AND MEDIANS WITHOUT THE PRIOR APPROVAL OF THE COUNTY ARBORIST. 20' MINIMUM SPACING IS REQUIRED BETWEEN THE TRUNK OF ANY PROPOSED OVER-STORY HARDWOOD TREE (OR EXISTING TREE COUNTED FOR TREE ORNANCE CREDIT) AND ANY EXISTING OR PROPOSED LIGHT POLE. IF THE SERVICE PROVIDER (ELECTRIC COMPANY) PRODUCES A LIGHTING PLAN, IT MUST ADHERE TO THE LIGHTING PLAN SHOWN IN THE CIVIL ENGINEERING DRAWINGS APPROVED BY COBB COUNTY FOR THE LAND DISTURBANCE PERMIT. IF A LIGHTING PLAN IS NOT PART OF THE CIVIL DRAWINGS, THE LIGHTING DESIGNER MUST SUBMIT A PLAN TO THE ARBORIST/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. IF SITE LIGHTING IS INSTALLED WITHOUT AN APPROVED PLAN, THE CERTIFICATE OF OCCUPANCY WILL BE WITHHELD UNTIL ALL CONFLICTING POWER POLES ARE MOVED. CALL 770-528-2124.
- THE OFFICIAL STREET NUMBER SHALL BE DISPLAYED ON ALL FREESTANDING SIGNS FOR EMERGENCY NOTIFICATION PURPOSES.
- THE ADDRESS FOR THE BUSINESS MUST BE POSTED, MAINTAINED, AND VISIBLE FROM STREET.
- ALL WHEEL STOPS ARE TO BE 8'-0"x10"x7" PRECAST CONCRETE W/4 #3 REBARS. SET @ 30' FC TO CL.
- FACE OF CURB AND 6" RETURN TO BE PAINTED YELLOW WHERE SIDEWALK ABUTS PAVEMENT UNLESS OTHERWISE NOTED.
- THE PARKING LOT AND PARKING SPACES SHALL CONFORM TO COUNTY DETAIL #114.
- COBB COUNTY ACCEPTS NO RESPONSIBILITY FOR THE AMERICANS WITH DISABILITIES ACT (ADA), EXCEPT FOR NOTIFICATION REQUIREMENT. THE OWNER/DEVELOPER IS SOLELY RESPONSIBLE FOR COMPLIANCE WITH SAID ACT.
- ANY SIGNS TO BE PERMITTED THROUGH THE COBB COUNTY CODE ENFORCEMENT DIVISION: SUBDIVISION ENTRANCE SIGNS, MONUMENTS, AND ALL COMMERCIAL SIGNS. THE LOCATION OF SUBDIVISION SIGNS MUST ALSO BE SHOWN ON THE PLANS.

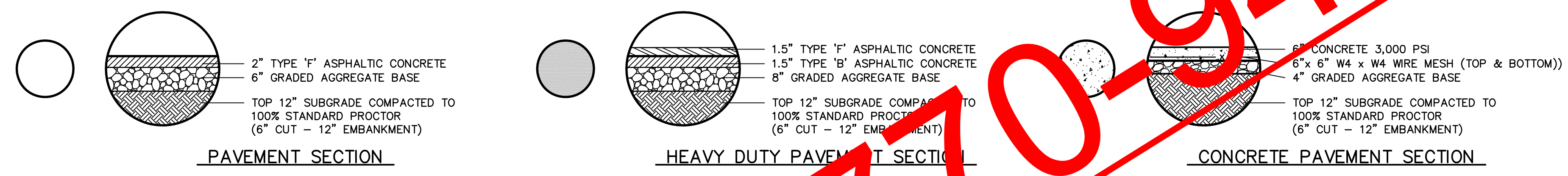
STRIPING NOTES:

- ALL PAINTED STRIPING SHALL BE EX PAINT APPLIED PER MANUFACTURER'S RECOMMENDATIONS. PAINT SHALL BE APPLIED IN 2 COATS. THE SECOND COAT SHALL BE APPLIED 30 DAYS AFTER THE FIRST.
- PARKING SPACES SHALL BE PAINTED WITH WHITE STRIPES EXCEPT HANDICAPPED SPACES WHICH SHALL BE MARKED WITH BLUE STRIPES. SEE DETAILS FOR ADDITIONAL INFORMATION.
- ALL PAVEMENT MARKINGS (STOP BARS, ARROWS AND WORDS) SHALL BE THERMOPLASTIC, UNLESS OTHERWISE NOTED.
- PARKING SPACES TO BE MARKED WITH WHITE 4" STRIPES.



SITE PLAN

24 HOUR EMERGENCY CONTACT:
JEFF FINKEL (678-475-4766)



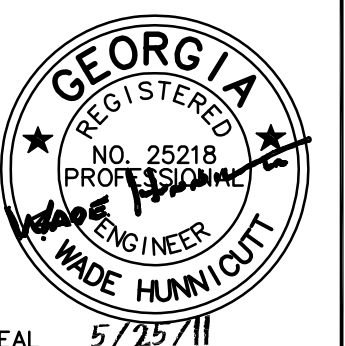
PAVEMENT SECTION

HEAVY DUTY PAVEMENT SECTION

CONCRETE PAVEMENT SECTION

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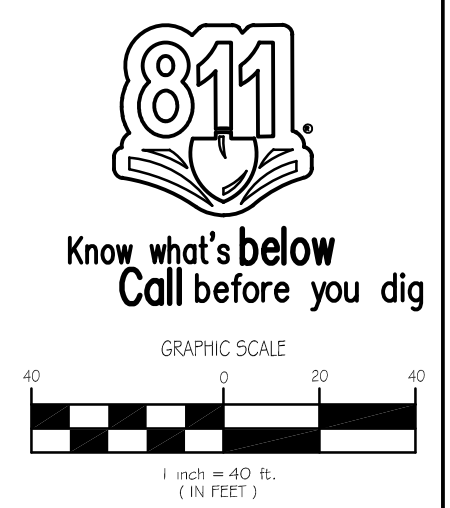
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COBB COUNTY, GEORGIA
BULLDOG KN LLC
11540 E US HIGHWAY 92
SEFFNER, FLORIDA 33584

REVISIONS:

NO. & DATE	DESCRIPTION
No. 1 5/25/11	COUNTY COMMENTS

DRAWING TITLE:
SITE PLAN

DATE: 12/21/10
PROJECT: 091283
DRAWING NO.: C-4
SCALE: 1" = 40'

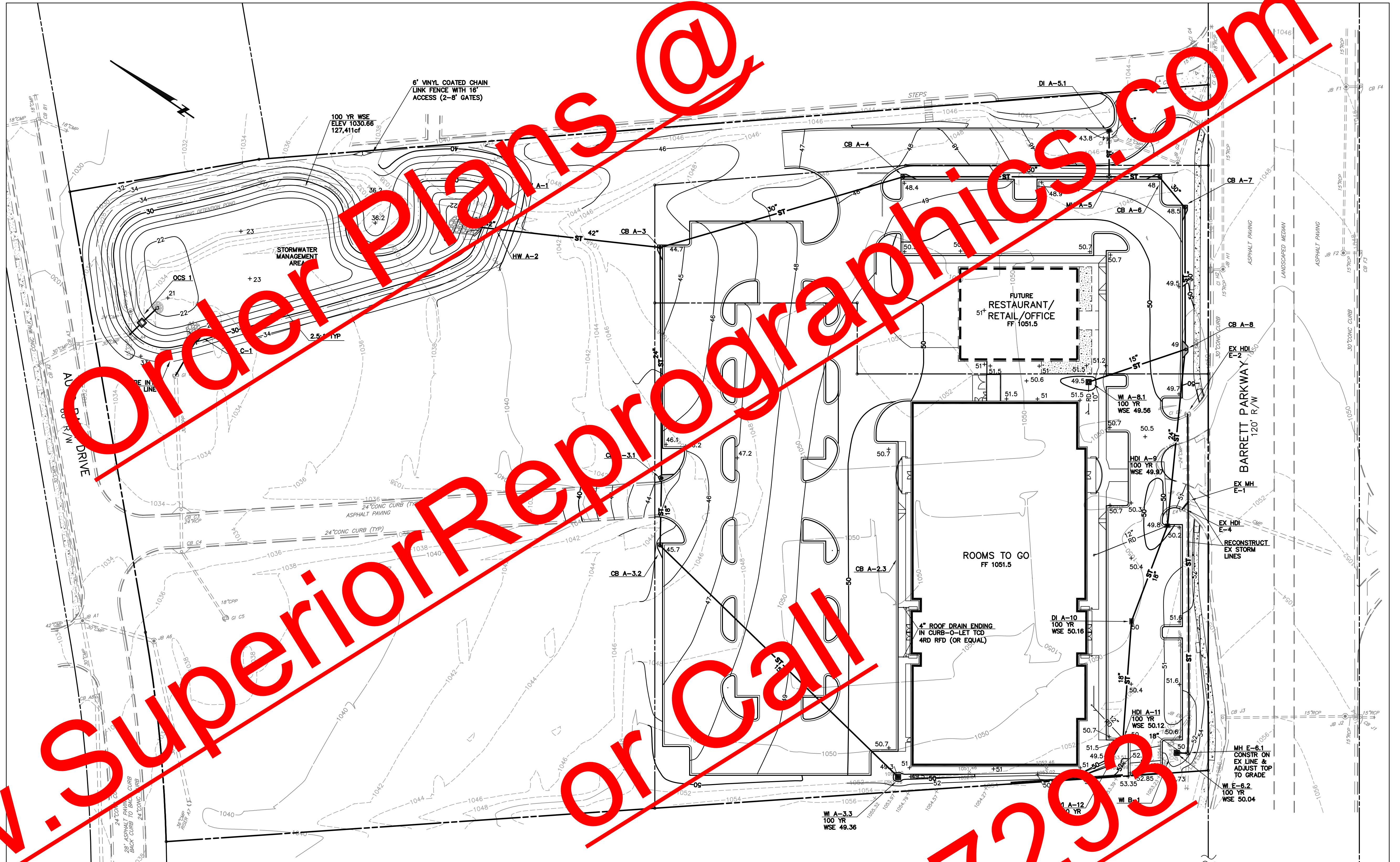


NOTES:

- EXISTING CONDITIONS TAKEN FROM "ALTA/ASCM LAND TITLE SURVEY FOR SEAMAN DEVELOPMENT CORP." BY McNALLY & PATRICK DATED 8/27/10.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LOCAL AUTHORITY STANDARDS AND SPECIFICATIONS.
- ALL DRAINAGE STRUCTURES SHALL HAVE RING AND COVER ACCESS.
- ALL ON-SITE STORM PIPE AND STORM PIPE WITHIN GA DOT R/W SHALL BE REINFORCED CONCRETE PIPE. CLASSES TO BE IN ACCORDANCE WITH GA DOT STD. 1030D. STORM PIPE WITHIN LOCAL AUTHORITY'S R/W TO BE IN ACCORDANCE WITH LOCAL AUTHORITY'S STANDARDS.
- ALL CONSTRUCTION WASTE SHALL BE DISPOSED OF OFFSITE IN A LEGAL MANNER.
- ALL SLOPES TO BE NO STEEPER THAN 2:1.
- CONTRACTOR TO INCLUDE PROVISIONS FOR TEMPORARY AND PERMANENT GROUNDWATER CONTROL IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERS RECOMMENDATIONS.
- NO WETLANDS ARE PRESENT ONSITE.
- ALL GRATES & DRAINS TO BE ADA COMPLIANT AND BICYCLE SAFE.
- SITE ACREAGE = 10.40 ac
DISTURBED ACREAGE = 7.16 ac
EX IMPERVIOUS ACREAGE = 8.32 ac
PROP IMPERVIOUS ACREAGE = 4.40 ac
- RETAINING WALL TO BE GRANITE BLOCK, TENNESSEE FIELD STONE, OR BRICK IN ACCORDANCE WITH COBB COUNTY'S TOWN CENTER CORRIDOR OVERLAY DISTRICT GUIDELINES.
- SITE NOT IN 100 YR FLOODPLAIN PER FEMA MAP PANEL.
- CONTRACTOR TO REMOVE & UNDERCUT AND BURIED OBJECTS OR DEBRIS THAT MAY BE ENCOUNTERED DURING CONSTRUCTION.

COBB COUNTY PIPE NOTES:

- THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA STANDARD PIPE CULVERT NUMBER 1030D, LATEST EDITION SHALL BE USED IN DETERMINING THE CLASS OF REINFORCED CONCRETE PIPE OR GAGE OF CORRUGATED STEEL PIPE OR TYPE 2 CORRUGATED ALUMINUM PIPE UNDER FILL AND THE METHOD OF BACK-FILLING. THE MINIMUM GAGE FOR CORRUGATED STEEL PIPE ALLOWED UNDER COBB COUNTY STANDARDS IS 12 (10.109 INCHES). ALL CORRUGATED STEEL PIPES ARE TO BE FULLY COATED. THE MINIMUM GAGE FOR TYPE 2 CORRUGATED ALUMINUM PIPE UNDER COBB COUNTY STANDARDS IS 14 (10.075 INCHES).
- FIELD JOINTS FOR CORRUGATED PIPE SHALL BE MADE WITH BANDS OF THE SAME GAGE METAL AND COATING AS THE CORRUGATED PIPE. BANDS SHALL BE OF THE HUGGER TYPE DESIGNED TO FULLY ENGAGE AT LEAST ONE ANNUULAR CORRUGATION AT THE END OF EACH CORRUGATED PIPE AROUND ITS ENTIRE CIRCUMFERENCE. MINIMUM BAND WIDTH SHALL EQUAL THE CENTERLINE LENGTH OF FOUR (4) ANNUULAR CORRUGATIONS. BANDS SHALL CONFORM TO CURRENT ASTM/AASHTO INDUSTRY STANDARDS AS TO SECURING BOLTS, THEIR NUMBER AND PLACEMENT.
- CONCRETE PIPE SECTIONS MAY BE JOINED WITH BITUMINOUS PLASTIC CEMENT JOINTS, RUBBER-TYPE GASKET JOINTS, O-RING GASKET JOINTS OR PRE-FORMED PLASTIC GASKET JOINTS. IN BITUMINOUS PLASTIC CEMENT JOINTS, THE ANNUULAR SPACES SHALL BE FILLED WITH JOINT MATERIAL, AND THE INSIDE OF EACH JOINT WIPED SMOOTH. RUBBER-TYPE, O-RING, AND PRE-FORMED PLASTIC GASKET JOINTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- ALL CATCH BASINS, DROP INLETS OR OTHER DRAINAGE STRUCTURES SHALL COMPLY WITH THE LATEST STANDARDS APPROVED AND PROMULGATED BY THE GEORGIA DEPARTMENT OF TRANSPORTATION IN "STANDARDS SPECIFICATIONS FOR CONSTRUCTION OF ROADS AND BRIDGES", LATEST EDITION.
- USE OF HDPE REQUIRES THE FOLLOWING:
 - Granular backfill to top of the pipe.
 - Depths no greater than ten (10') feet as measured to invert of pipe.
 - Installation must be outside County Right-of-Way.
 - Watertight bell and spigot gasketed joints must be provided.
 - 36-inch diameter or greater must be inspected and certified by a geotechnical engineer or a manufacturer's representative.
 - Smoothbore pipe only.
 - Watertight bell and spigot gasketed joints must be provided.
 - 36-inch diameter or greater must be inspected and certified by a geotechnical engineer or a manufacturer's representative.
 - Smoothbore pipe only.
- ALL STORMWATER INFRASTRUCTURE WITHIN THE LIMITS OF THE SITE, EXCEPT AS SHOWN AND MAINTAINED BY THE COUNTY, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COUNTY WILL MAINTAIN AND OPERATE THE INFRASTRUCTURE OUTSIDE THE LIMITS OF THE SITE.
- COMPARISON REPORTS, PERFORMED BY A GEOTECHNICAL ENGINEER, WILL BE REQUIRED TO BE SUBMITTED TO THE COUNTY FOR THE OUTLET CONTROL STRUCTURE AND DAM.
- AS-BUILT DRAWINGS OF THE STORM DRAIN SYSTEM TO COBB COUNTY STORMWATER MANAGEMENT PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY.
- ALL ORGANICS AND TOP SOIL SHALL BE REMOVED FROM THE ENTIRE FOOTPRINT OF THE DAM.
- EARTHEN FILL SHALL BE CL OR ML MATERIAL APPROVED FOR USE BY GEOTECHNICAL ENGINEER (PE) AND PLACED IN 8" LIFTS AND COMPACTED TO NOT LESS THAN 95% STANDARD PROCTOR UNDER SAID ENGINEER'S DIRECTION.



GRADING & DRAINAGE PLAN

24 HOUR EMERGENCY CONTACT:
JEFF FINKEL (678-475-4766)



pharrengineering
PHARR ENGINEERING ASSOCIATES, LLC
CIVIL ENGINEERS
3850 RIVE FORK TRUCKING ROAD, SUITE 6450
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TEL: 770-447-4400 / 770-447-4442 FAX

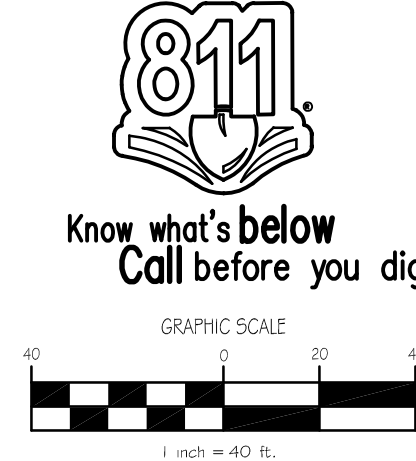
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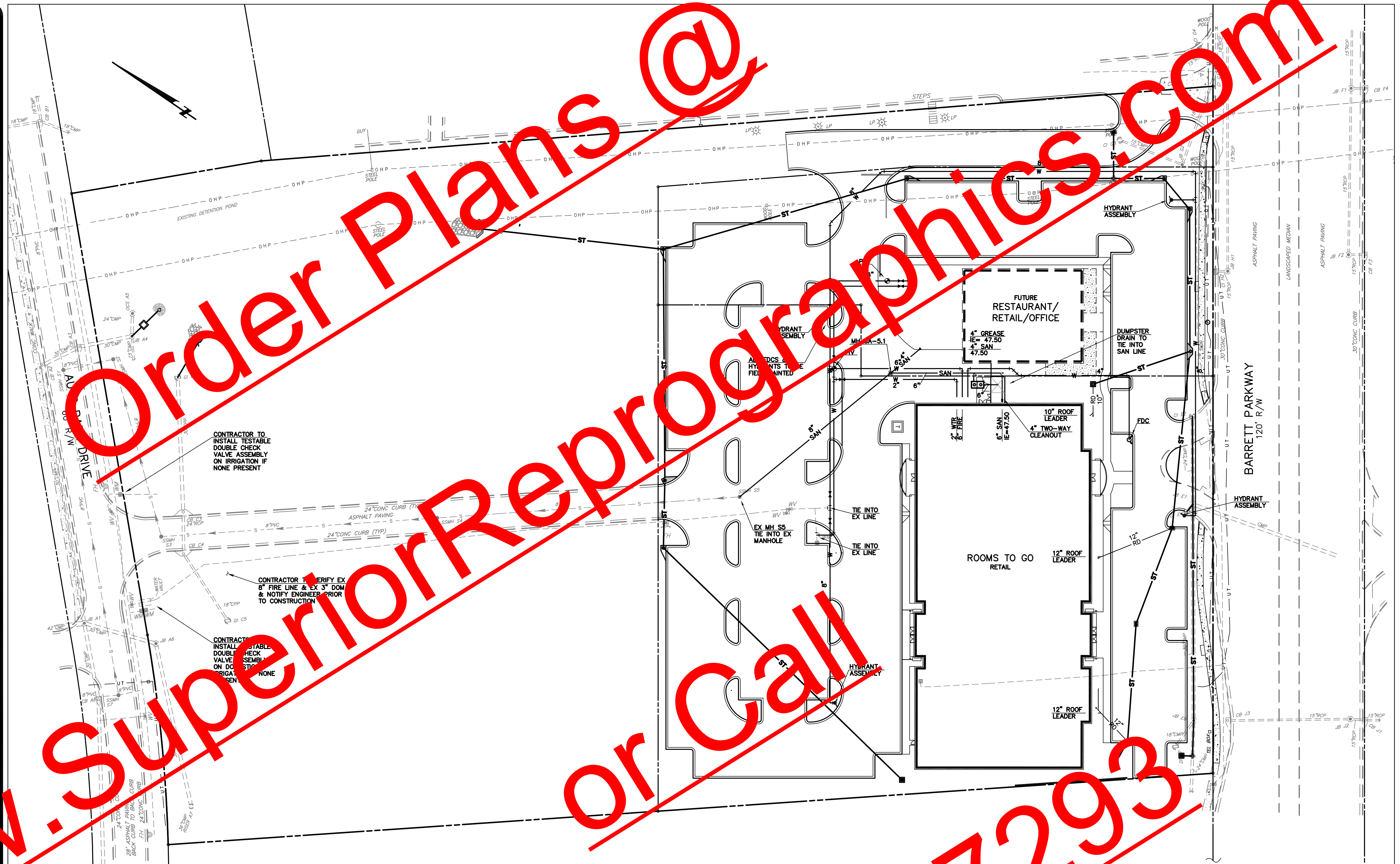
NO. & DATE	DESCRIPTION
No. 1 5/25/11	COUNTY COMMENTS

DRAWING TITLE:
GRADING & DRAINAGE PLAN

DATE: 12/21/10
PROJECT: 091283
DRAWING NO.: C-6
SCALE: 1" = 40'



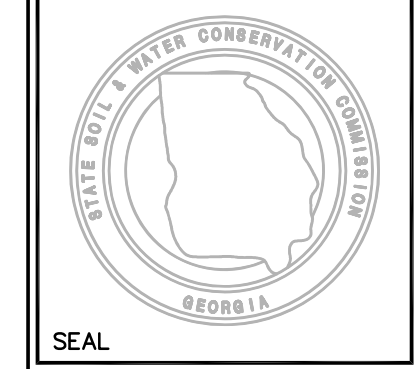
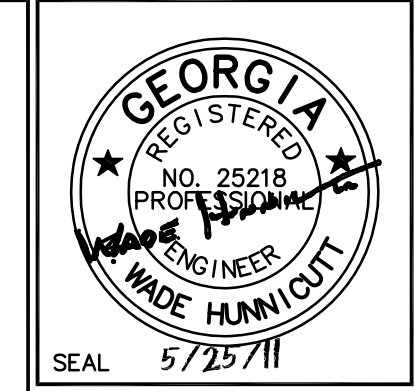
- NOTES:**
- EXISTING CONDITIONS TAKEN FROM "ALTA/ASCM LAND TITLE SURVEY FOR SEAMAN DEVELOPMENT CORP." BY MCNALLY & PATRICK DATED 8/27/10.
 - ALL CONSTRUCTION SHALL CONFORM TO THE LOCAL AUTHORITY STANDARDS AND SPECIFICATIONS.
 - FOR EXACT LOCATIONS AND INVERTS OF PLUMBING STUB-OUTS, SEE ARCHITECT'S PLANS.
 - SANITARY SEWER PIPE TO BE PVC SDR 35, EXCEPT DUCTILE IRON PIPE IS REQUIRED FOR THE FOLLOWING:
 - PIPE WITH LESS THAN 3' COVER OR MORE THAN 20' COVER.
 - AT ALL STORM LINE CROSSINGS.
 - AT WATER LINE CROSSINGS WHERE THE SEPARATION IS LESS THAN 3'.
 - FIRE HYDRANT ASSEMBLIES INCLUDE HYDRANT, TEE, VALVE, BLOCKING, AND OTHER MISCELLANEOUS ITEMS AS REQUIRED BY LOCAL AUTHORITY.
 - BUILDING IS PROTECTED BY FIRE SPRINKLER SYSTEM.
 - OUTDOOR LIGHTING TO BE IN COMPLIANCE WITH THE CITY LIGHTING REQUIREMENTS.
 - BUILDING IS SPRINKLED & HAS WITH FIRE WARNING DEVICES.
 - CALL 770-528-8310 FOR UNDERGROUND PIPING INSPECTION. CONDUIT SHALL BE INSTALLED FOR FUTURE REG. OF SUPERVISED SYSTEM.
 - ALL HYDRANTS TO HAVE STEAMER CONNECTION FACING STREET.
 - SITE PLAN APPROVAL DOES NOT INCLUDE TANKS. TANK LOCATION AND TYPE SHALL BE SUBMITTED SEPARATELY.
 - ALL COMMERCIAL PROJECTS REQUIRE THE INSTALLATION OF AN APPROVED TESTABLE DOUBLE CHECK VALVE ASSEMBLY BY THE OWNER / DEVELOPER ON THE CUSTOMER-SIDE OF DOMESTIC AND IRRIGATION METERS. BUSINESSES THAT POSE A GREATER DEGREE OF HAZARD MAY REQUIRE ADDITIONAL PROTECTION. THE DOUBLE DETECTOR CHECKVALVE DOES NOT REQUIRE A BACKFLOW PREVENTION DEVICE.
 - PLEASE CONTACT MARVIN RICHARDS, ENVIRONMENTAL COMPLIANCE SUPERVISOR FOR THE CROSSCONNECTION CONTROL AND BACKFLOW PREVENTION PROGRAM AT (770)528-3343 OR DEBRA WHATLEY AT (770) 528-8446 FOR A SPECIFIC DETERMINATION OF BACKFLOW PREVENTION ASSEMBLY. OWNER MUST HAVE BACKFLOW PREVENTION ASSEMBLY (S) INSTALLED AND INSPECTED BY THE BACKFLOW PREVENTION INSPECTOR BEFORE WATER SERVICE IS ACTIVATED. AFTER THE WATER SERVICE IS ACTIVATED EACH ASSEMBLY MUST BE TESTED BY AN APPROVED TESTER BEFORE PERMANENT WATER SERVICE IS APPROVED. A COPY OF THE TEST RESULTS MUST BE SENT TO THE BACKFLOW PREVENTION PROGRAM AT 680 SOUTH COBB DRIVE, MARIETTA, GA 30060-3113, TO THE ATTENTION OF MARVIN RICHARDS.
 - OWNER/DEVELOPER TO INSTALL AND MAINTAIN BFP'S.
 - THE OWNER/DEVELOPER WILL BE RESPONSIBLE FOR PAYING ANY ADDITIONAL SEWER DEVELOPMENT FEES SHOULD ANY PORTION OF THIS PROJECT BE USED BY A HIGH WASTE USE TENANT SUCH AS A RESTAURANT OR A COIN-OPERATED LAUNDRY.
 - ALL DUMPSTER DRAINAGE FACILITIES ARE TO BE INSTALLED AND MAINTAINED BY OWNER.
 - PLEASE CALL ENVIRONMENTAL COMPLIANCE AT 770-419-6430 FOR THE REQUIRED GREASE TRAP, DUMPSTER TRAP, OR SANITARY INTERCEPTOR INSPECTION. PROVIDE A TWO-WORK-DAY NOTICE. TRAPS MUST BE LEFT UNCOVERED.
 - THE PROPOSED ON-SITE WASTEWATER COLLECTION SYSTEM IS PRIVATE AND MUST BE DESIGNED, INSTALLED, AND INSPECTED IN ACCORDANCE WITH COBB COUNTY PLUMBING CODES. CALL 528-2134 FOR SITE INSPECTIONS.
 - EXISTING MANHOLE MUST BE CORED & BOOTED WITH A KOP-N-SEAL OR EQUAL RUBBER BOOT. PLEASE CALL 770-419-6320 TO SCHEDULE INSPECTION OF SEWER TIE-IN.
 - THE COBB COUNTY ARBORIST OR LANDSCAPE ARCHITECT MUST APPROVE THE SITE LIGHTING PLAN. LIGHT POLES ARE NOT PERMITTED IN PARKING PENINSULAS, ISLANDS AND MEDIANS WITHOUT THE PRIOR APPROVAL OF THE COUNTY ARBORIST. 20' MINIMUM SPACING IS REQUIRED BETWEEN THE TRUNK OF ANY PROPOSED OVER-STORY HARDWOOD TREE (OR EXISTING TREE COUNTED FOR TREE ORDINANCE CREDIT) AND ANY EXISTING OR PROPOSED LIGHT POLE. IF THE SERVICE PROVIDER (ELECTRIC COMPANY) PRODUCES A LIGHTING PLAN, IT MUST ADHERE TO THE LIGHTING PLAN SHOWN IN THE CIVIL ENGINEERING DRAWINGS APPROVED BY COBB COUNTY FOR THE LAND DISTURBANCE PERMIT. IF A LIGHTING PLAN IS NOT PART OF THE CIVIL DRAWINGS, THE LIGHTING PLAN DESIGNER MUST SUBMIT A PLAN TO THE ARBORIST/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. IF SITE LIGHTING IS INSTALLED WITHOUT AN APPROVED PLAN, THE CERTIFICATE OF OCCUPANCY WILL BE WITHHELD UNTIL ALL CONFLICTING POWER POLES ARE MOVED. CALL 770-528-2124.
 - THE SITE CONTRACTOR SHALL COORDINATE SERVICE ROUTING OF ALL GAS, TELEPHONE, AND ELECTRIC LINES WITH THE APPROPRIATE UTILITY COMPANY. CONSTRUCTION MUST COMPLY WITH EACH UTILITY'S STANDARDS AND SPECIFICATIONS AND INTERFERE WITH TREE PLANTING SITES OR EXISTING TREES TO BE PRESERVED.
 - FOR PROJECTS WITH NO FUTURE SERVICE, THE DUMPSTER PAD MUST BE TIED INTO AN EXISTING GREASE TRAP. GREASE TRAP TO BE 2" THICK, FROST RESISTANT, TRAFFIC BEARING, AND EQUIPPED WITH 24" MANHOLE.
 - A CHECK VALVE MUST BE INSTALLED TO STOP FLOW OF WATER THROUGH FDC BACK TO WATER SUPPLY AND A COIN-OPERATED VALVE MUST BE INSTALLED ON EACH SIDE OF THE VALVE.
 - FIRE LINES SHALL BE A MAXIMUM 5' FROM EDGE OF BUILDING.
 - CONDUIT REQUIRED FROM BUILDING TO PIV FOR SUPERVISION.
 - SHOW DESIGNATED FIRE LANES TO MEET THE FOLLOWING REQUIREMENTS: BOTH SIDES OF SIGNS SHALL READ: "NO PARKING, FIRE LANE;" LETTERS SHALL NOT BE LESS THAN 2 INCHES IN HEIGHT; ONE SIGN SHALL BE POSTED AT THE BEGINNING OF THE FIRE LANE AND ONE AT THE END OF THE FIRE LANE WITH SIGNS NOT MORE THAN 100 FEET APART; SIGNS SHALL NOT BE MORE THAN 4 FEET FROM THE EDGE OF CURB AND SHALL BE VISIBLE FROM BOTH DIRECTIONS OF DRIVING SURFACE; HEIGHT OF SIGN FACE AS MEASURED FROM THE BOTTOM OF THE SIGN SHALL BE A MINIMUM OF 4 FEET AND A MAXIMUM OF 7 FEET FROM GROUND LEVEL. DECORATIVE SIGNAGE MAY BE USED WITH FIRE MARSHAL'S APPROVAL. FOR LANES 20 TO 28 FEET WIDE, SIGNS AND MARKINGS WILL BE REQUIRED ON BOTH SIDES. FOR LANES 29 TO 37 FEET WIDE, SIGNS AND MARKINGS WILL BE REQUIRED ON ONE SIDE. LANES IN EXCESS OF 37 FEET WIDE REQUIRE NO SIGNS OR MARKINGS. CURBING OR LINEAGE DELINEATING FIRE LANES SHALL BE PAINTED RED. THE TOP AND FACE OF THE CURB SHALL BE PAINTED. THE LIFE SAFETY INSPECTOR WILL MAKE FINAL DETERMINATION OF FIRE LANES BEFORE FINAL INSPECTION IS MADE. ONE AND TWO FAMILY RESIDENTIAL OPTIONS TO ABOVE SEE 118-231. SEE COBB COUNTY CODE SECTION 118-231.



UTILITY PLAN

24 HOUR EMERGENCY CONTACT:
JEFF FINKEL (678-475-4766)

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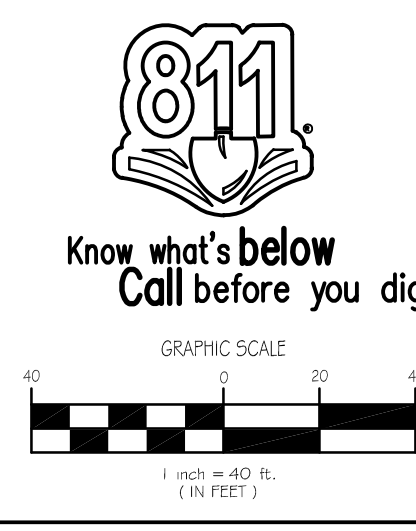
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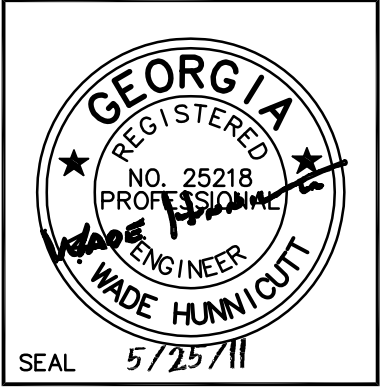
DRAWING TITLE :

UTILITY PLAN

DATE : 12/21/10
 PROJECT : 091283
 DRAWING NO. : C-7
 SEQ. OF :
 SCALE : 1" = 40'



- NOTES:**
1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LOCAL AUTHORITY STANDARDS AND SPECIFICATIONS.
 2. ALL DRAINAGE STRUCTURES SHALL HAVE RING AND COVER ACCESS.
 3. ALL ON-SITE STORM PIPE AND STORM PIPE WITHIN GA. DOT R/W SHALL BE REINFORCED CONCRETE PIPE. CLASS TO BE IN ACCORDANCE WITH GA DOT STD. 1030D. STORM PIPE WITHIN LOCAL AUTHORITY'S R/W TO BE IN ACCORDANCE WITH LOCAL AUTHORITY'S STANDARDS.
 4. CONTRACTOR TO INCLUDE PROVISIONS FOR TEMPORARY AND PERMANENT GROUNDWATER CONTROL IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERS RECOMMENDATIONS.



SEAL

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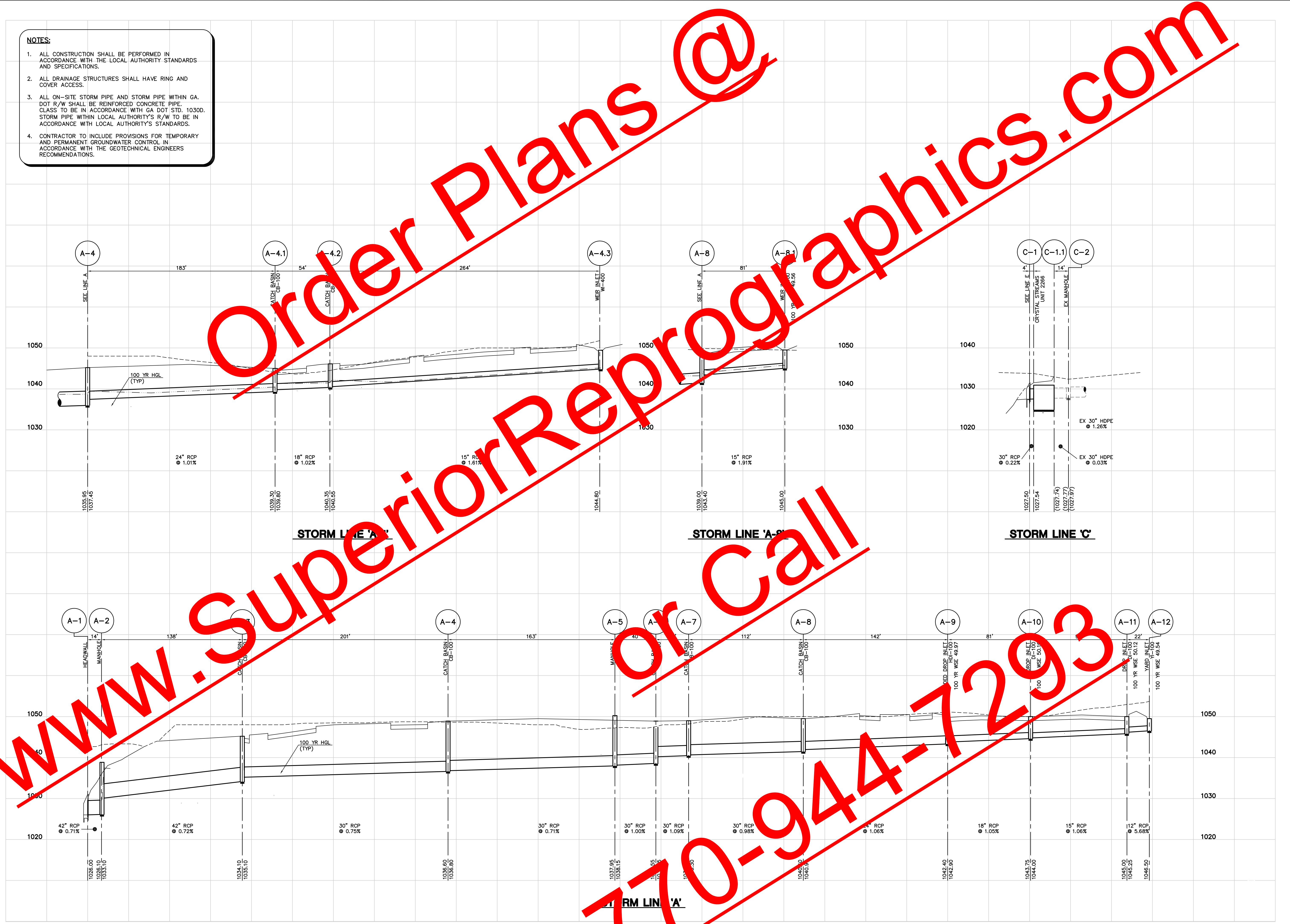
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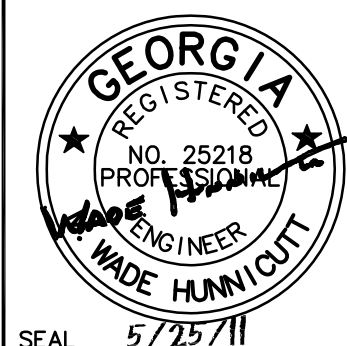
DRAWING TITLE :
UTILITY PROFILES

DATE : 12/21/10
PROJECT : 091283
DRAWING NO. :
C-8.1
SEQ. OF
SCALE : 1" = 40'-H/1"=10'-V



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No. 1 5/25/11	COUNTY COMMENTS

DRAWING TITLE :
WALL PROFILE

DATE : 10/21/08
PROJECT : 091283
DRAWING NO. :
C-8.2
SCALE : 1" = 30'-H/1" = 10'-V

LineID	LineSize (in)	LineMatl	JunctType	InvertDn (ft)	InvertUp (ft)	LineLength (ft)	LineSlope (%)	KnownQ (cfs)	VelDn (ft/s)	DrainageArea (ac)	RunoffCoef	InletTime (min)	FlowRate (cfs)	n-value	PipJ-LossCoe	HGLDn (ft)	HGLUp (ft)	MinorLoss (ft)	HGLInct (ft)	TotalArea (ac)	LineID
A1A2	42 RCP	MH		26.00	26.10	14	0.71	0	3.16	0.00	0.00	0	30.40	0.013	0	29.50	29.51	0.00	29.51	4.74	A1A2
A2A3	42 RCP	MH		33.95	34.95	10	30.00	0	3.16	0.00	0.00	0	30.44	0.013	0	37.45	37.32	0.00	37.32	4.74	A2A3
A3A4	42 RCP	Curb		35.15	35.95	112	0.71	0	3.22	1.19	0.95	10	30.96	0.013	0.8	38.65	38.69	0.18	38.88	4.74	A3A4
A4A5	30 RCP	Curb		36.95	38.35	201	0.70	0	3.13	0.16	0.95	5	15.38	0.013	0.3	39.45	39.68	0.16	39.84	2.32	A4A5
A5A6	30 RCP	Curb		38.55	40.00	203	0.71	0	2.99	0.16	0.95	5	14.68	0.013	0.4	41.05	41.29	n/a	41.49	2.16	A5A6
A6A7	30 RCP	Curb		40.20	40.45	32	0.78	0	2.78	0.08	0.95	5	13.65	0.013	0.4	42.70	42.72	0.05	42.78	2.00	A6A7
A7A8	30 RCP	Curb		40.65	41.45	112	0.71	0	2.72	0.18	0.95	5	13.37	0.013	0.3	43.15	43.20	0.06	43.26	1.92	A7A8
A8A9	24 RCP	Grate		41.95	43.30	141	0.96	0	3.05	0.22	0.95	5	9.59	0.013	0.3	43.95	44.40	n/a	44.40	1.33	A8A9
A9A10	18 RCP	Grate		43.80	44.60	81	0.99	0	3.08	0.20	0.95	5	5.44	0.013	0.3	45.30	45.49	n/a	45.49	0.75	A9A10
A10A11	15 RCP	Grate		44.80	45.85	94	1.12	0	3.28	0.14	0.95	5	4.03	0.013	0.3	46.05	46.65	n/a	46.65	0.58	A10A11
A11A12	12 RCP	Dp-Grate		46.20	46.50	22	1.36	0	0.19	0.03	0.60	5	0.15	0.013	0.2	47.20	47.20	0.00	47.20	0.03	A11A12
A4A4.1	24 RCP	Curb		37.45	39.30	183	1.01	0	2.74	0.28	0.95	5	8.62	0.013	0.2	39.45	40.34	n/a	41.23	1.23	A4A4.1
A4.1A4.2	18 RCP	Curb		39.80	40.35	54	1.02	0	3.79	0.89	0.95	5	6.70	0.013	0.4	41.30	41.38	0.17	41.55	0.55	A4.1A4.2
A4.2A4.3	15 RCP	Dp-Grate		40.55	44.80	264	1.61	0	0.39	0.06	0.95	5	0.48	0.013	0.2	41.96	45.08	n/a	45.08	0.38	A4.2A4.3
A8A8.1	15 RCP	Grate		43.45	45.00	81	1.91	0	2.42	0.21	0.80	5	2.97	0.013	0.2	44.70	45.69	n/a	45.69	0.38	A8A8.1
A8.1RD	15 RCP	MH		45.10	45.60	25	2.00	0	1.30	0.20	0.95	5	1.59	0.013	0.2	46.35	46.33	n/a	46.35	0.38	A8.1RD
A9RD	15 RCP	MH		42.60	43.80	61	1.97	0	2.34	0.36	0.95	5	2.87	0.013	0.2	44.77	44.87	n/a	44.87	0.38	A9RD
A11RD	15 RCP	MH		46.30	47.00	50	1.40	0	2.47	0.38	0.95	5	3.03	0.013	0.2	47.55	47.70	n/a	47.70	0.38	A11RD

Storm sewer designed for 25-year return period.
 All pipes shown on plans are 15' or less in length and designed by Pharr Engineering.



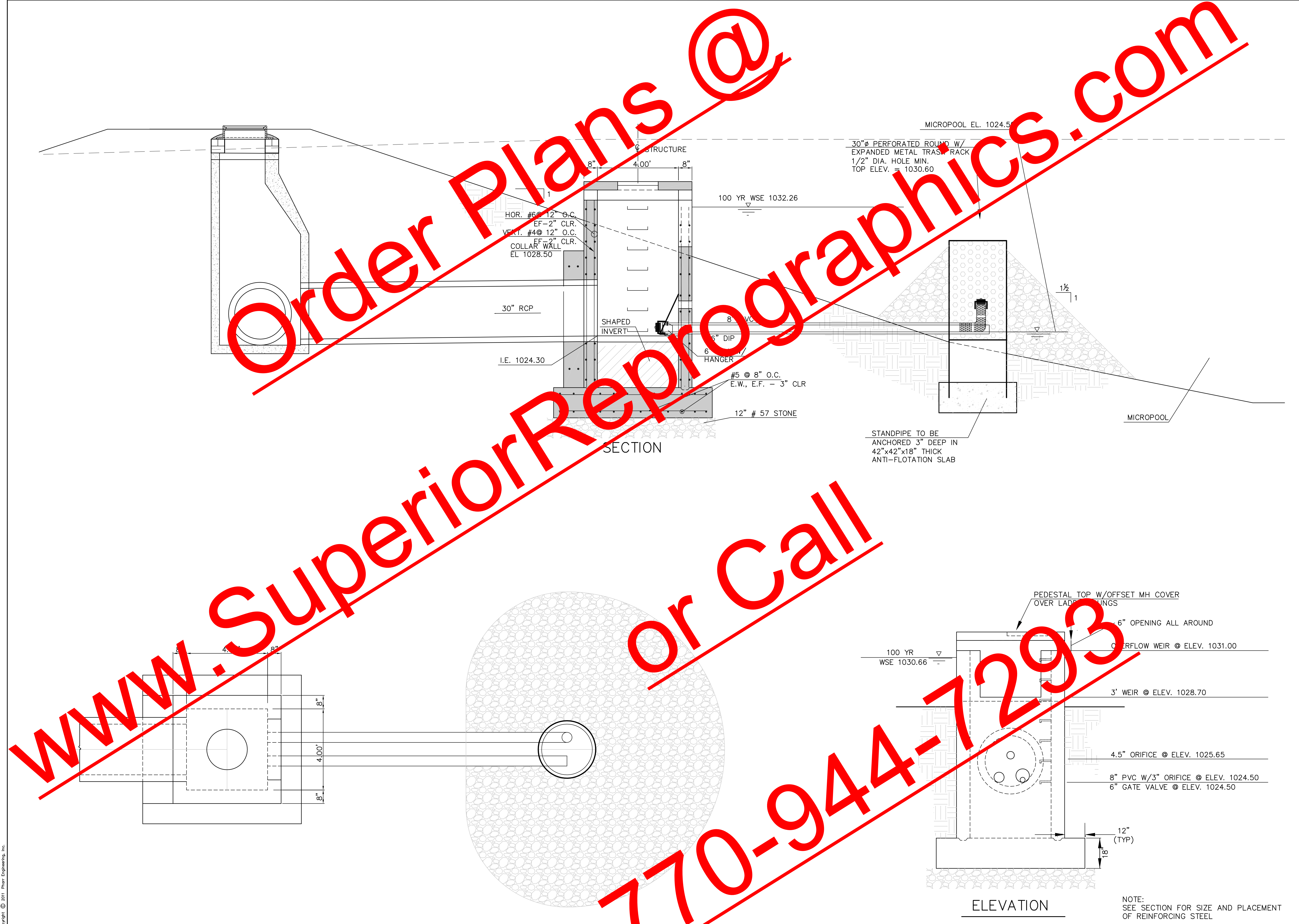
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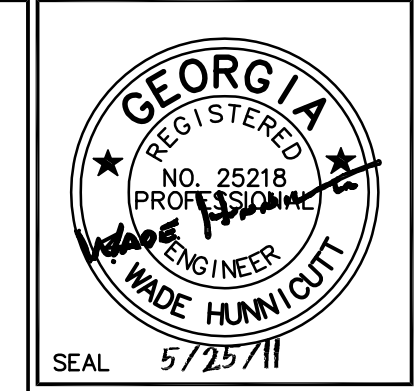
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REVISIONS :

NO. & DATE	DESCRIPTION
No. 1 5/25/11	COUNTY COMMENTS

DRAWING TITLE :
OUTLET STRUCTURE DETAILS

DATE : 12/21/10
 PROJECT : 091283
 DRAWING NO. :
C-9.1

SEQ. OF
 SCALE : AS SHOWN

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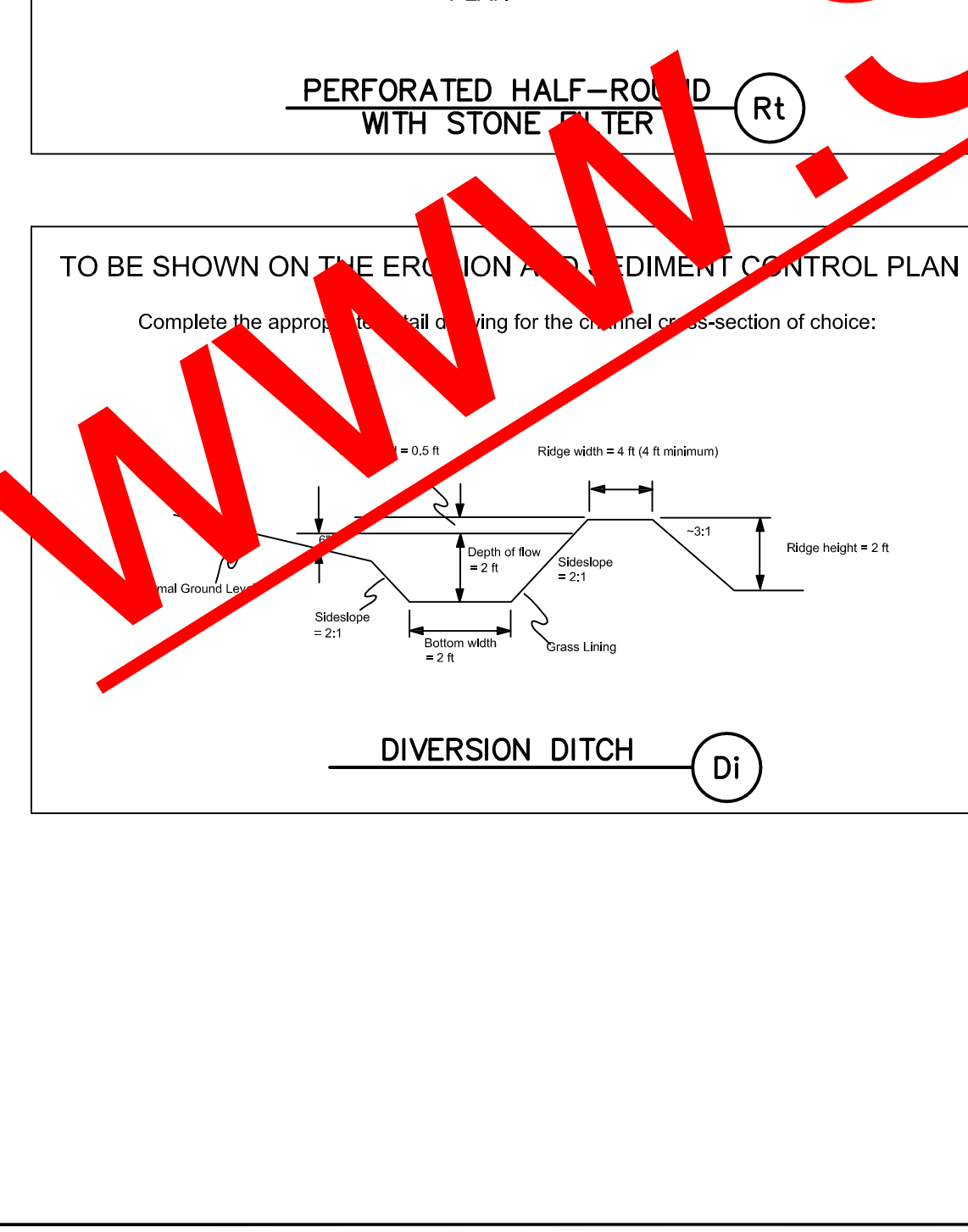
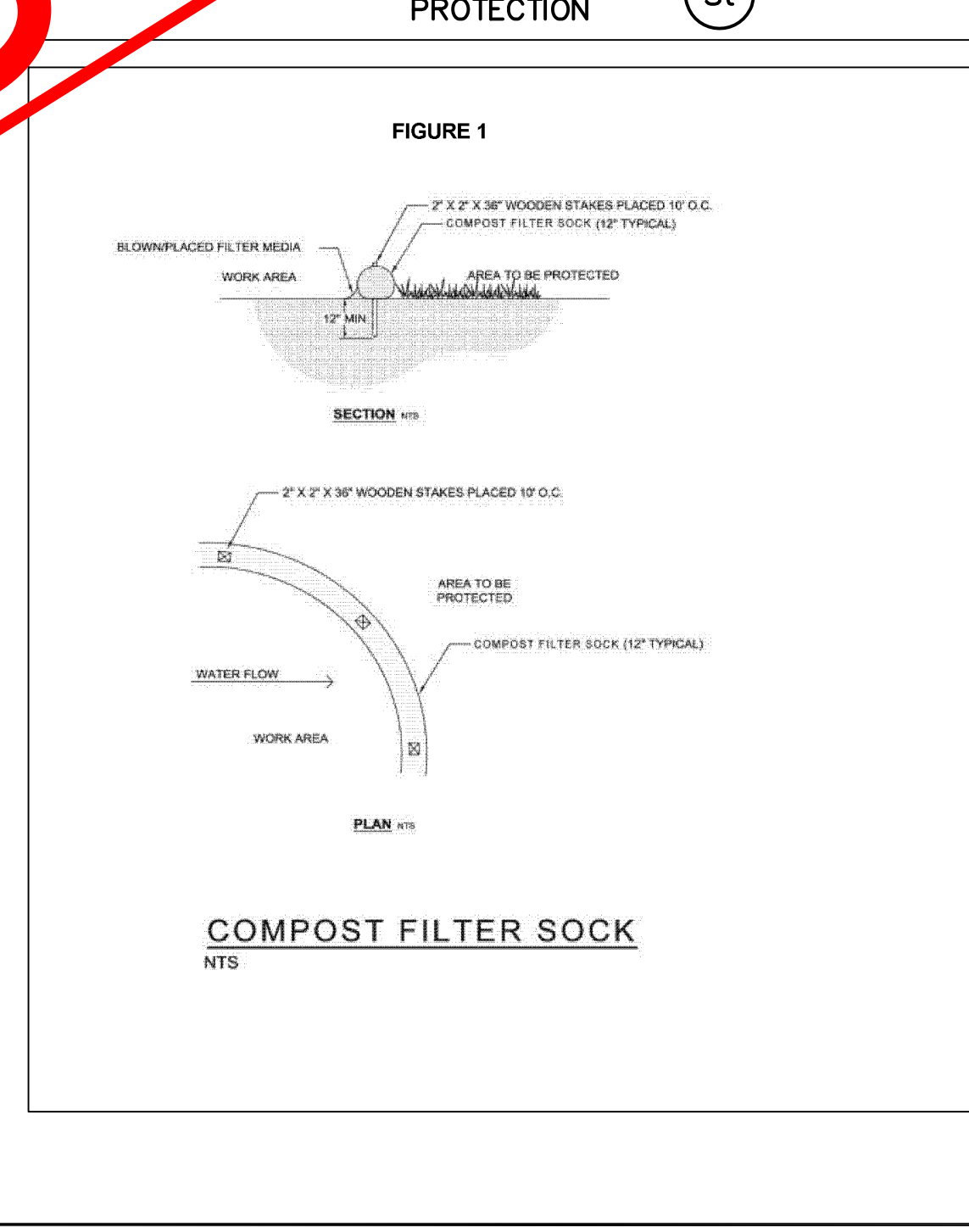
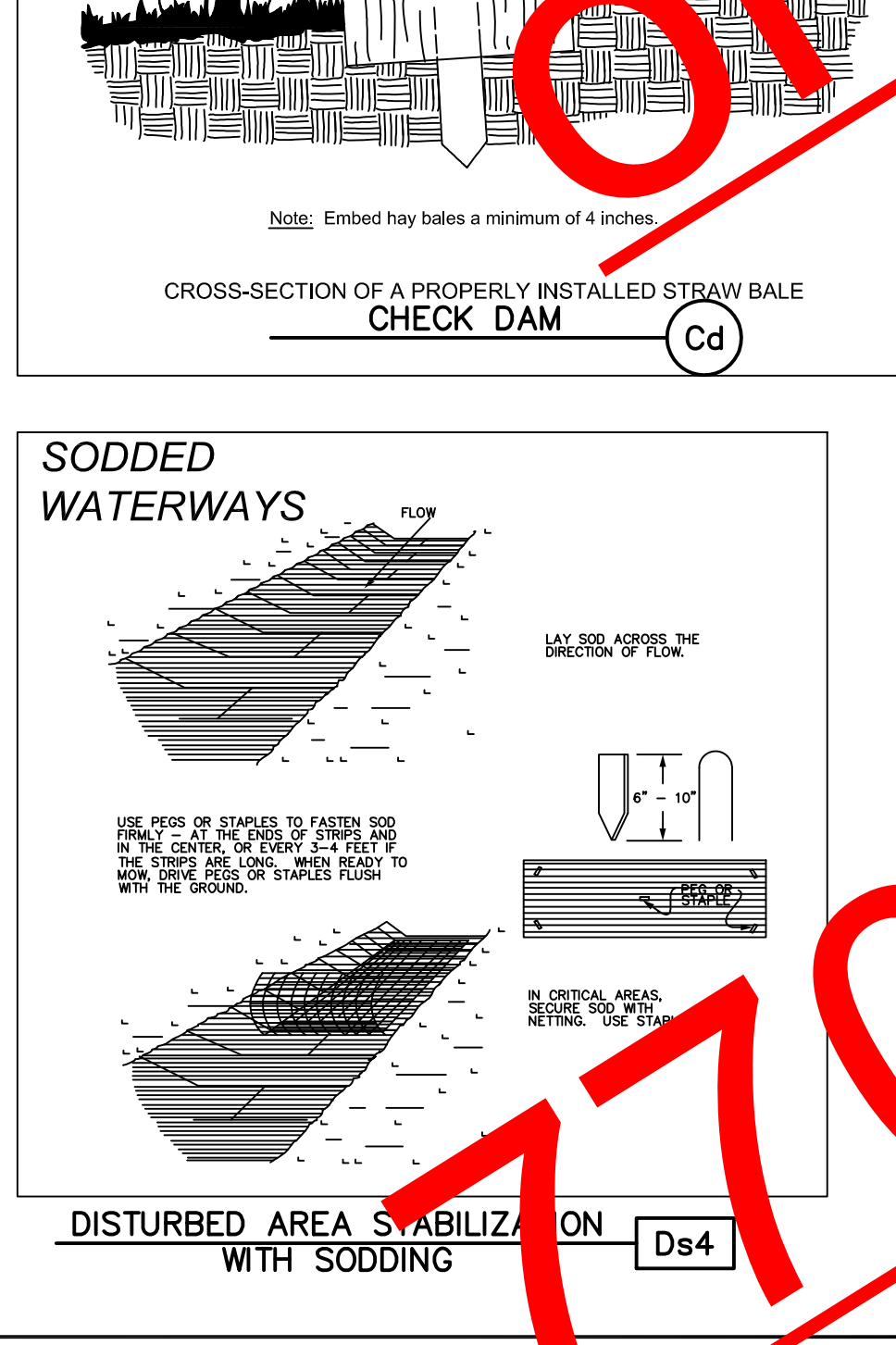
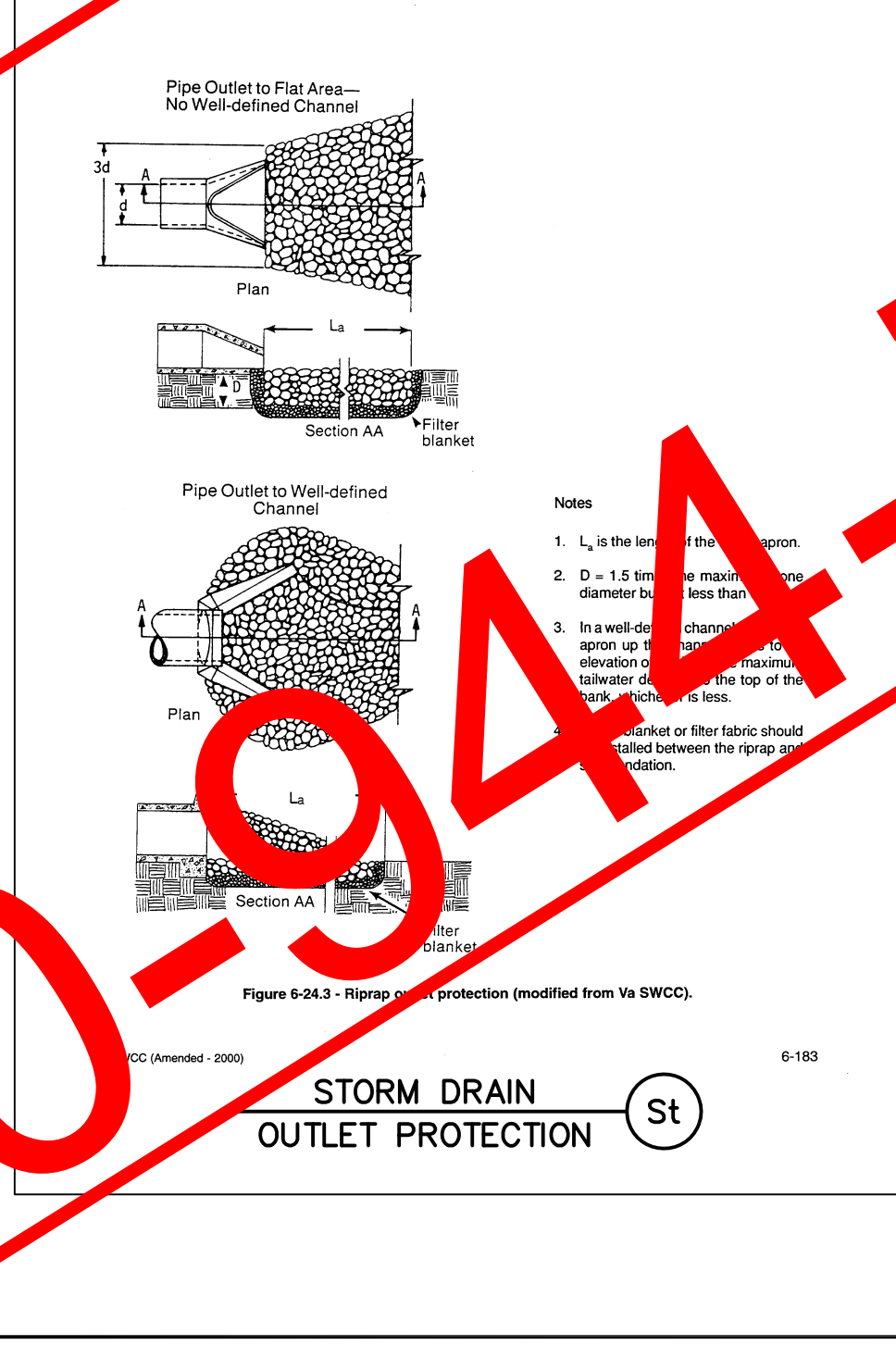
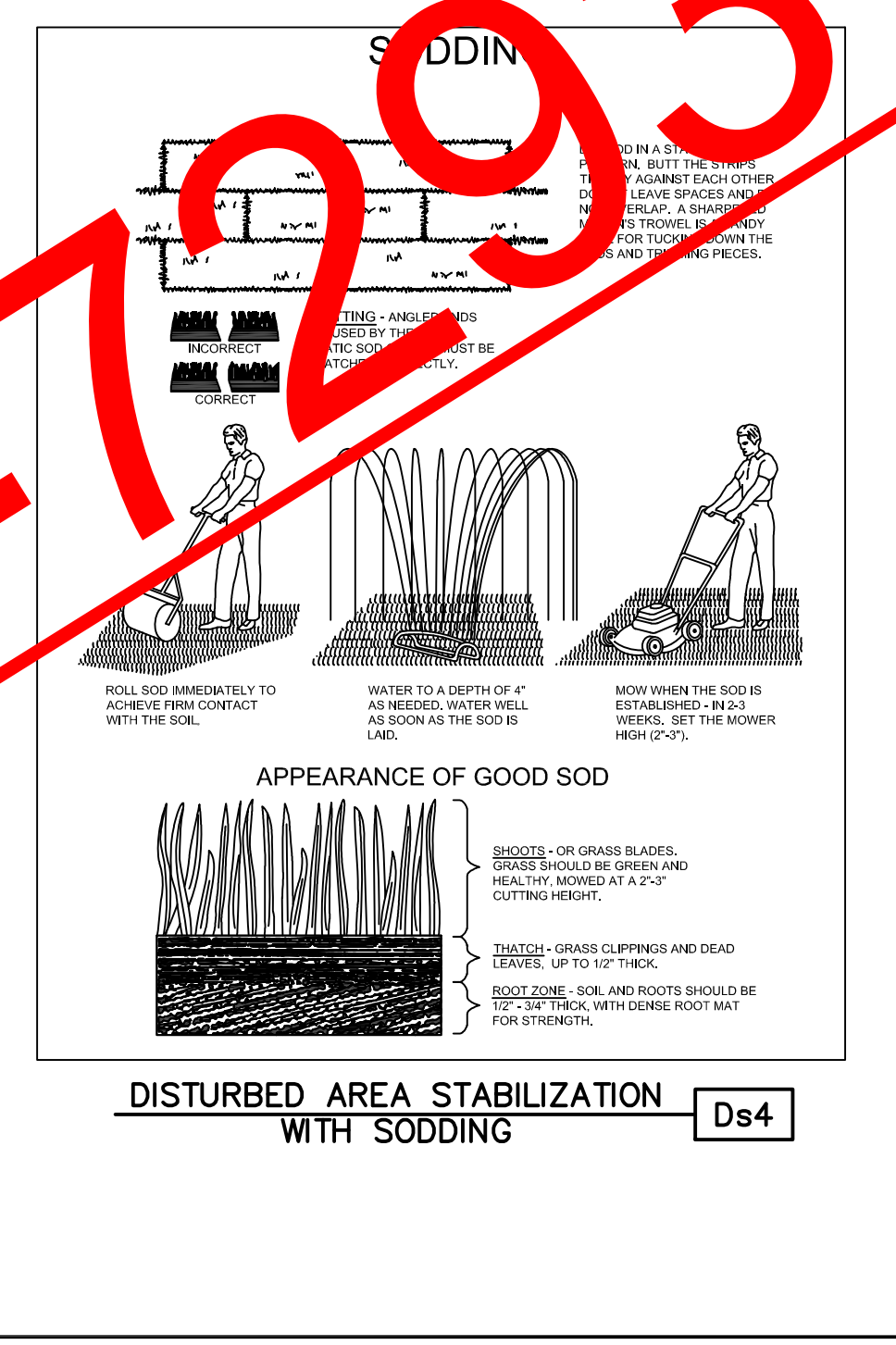
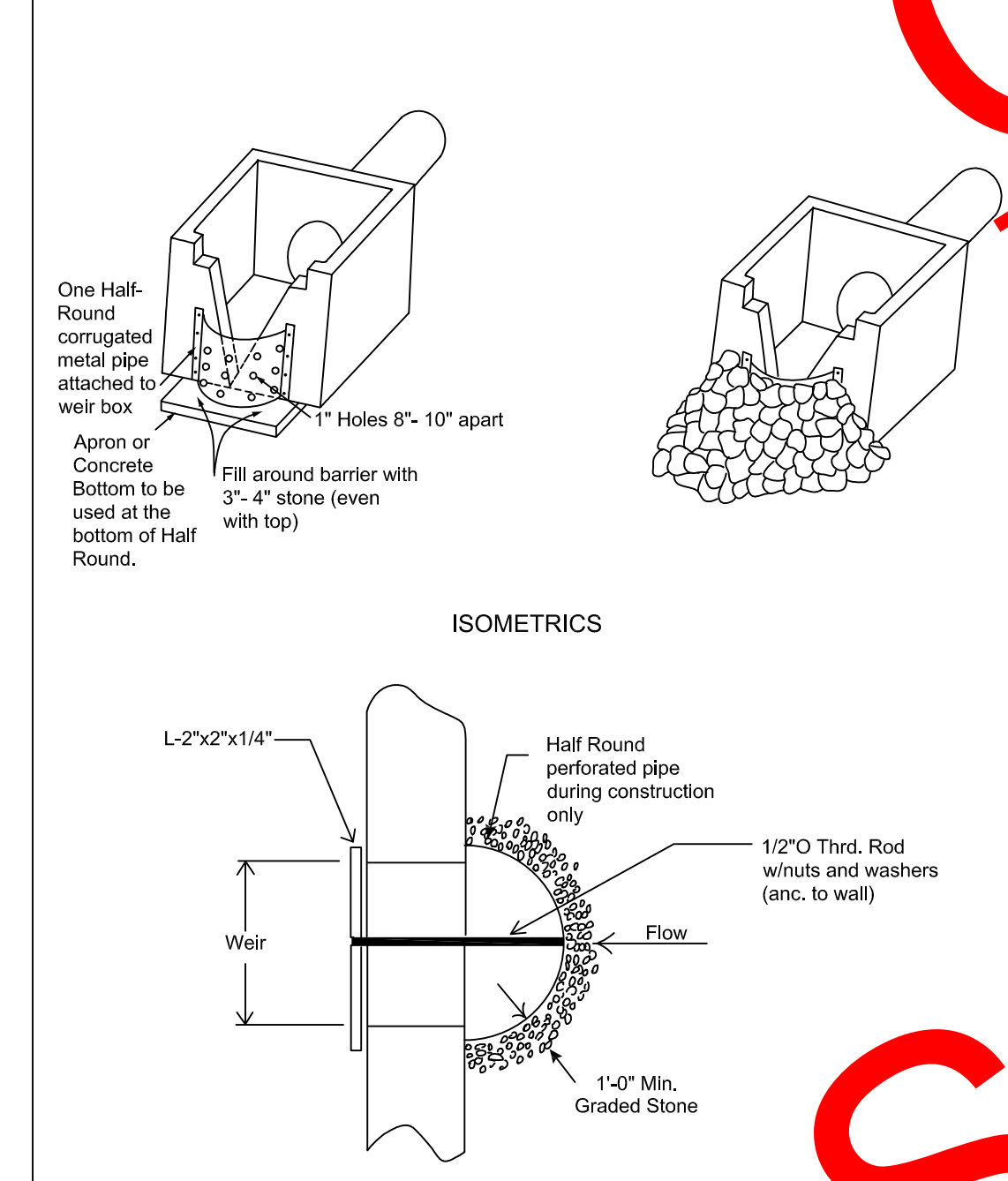
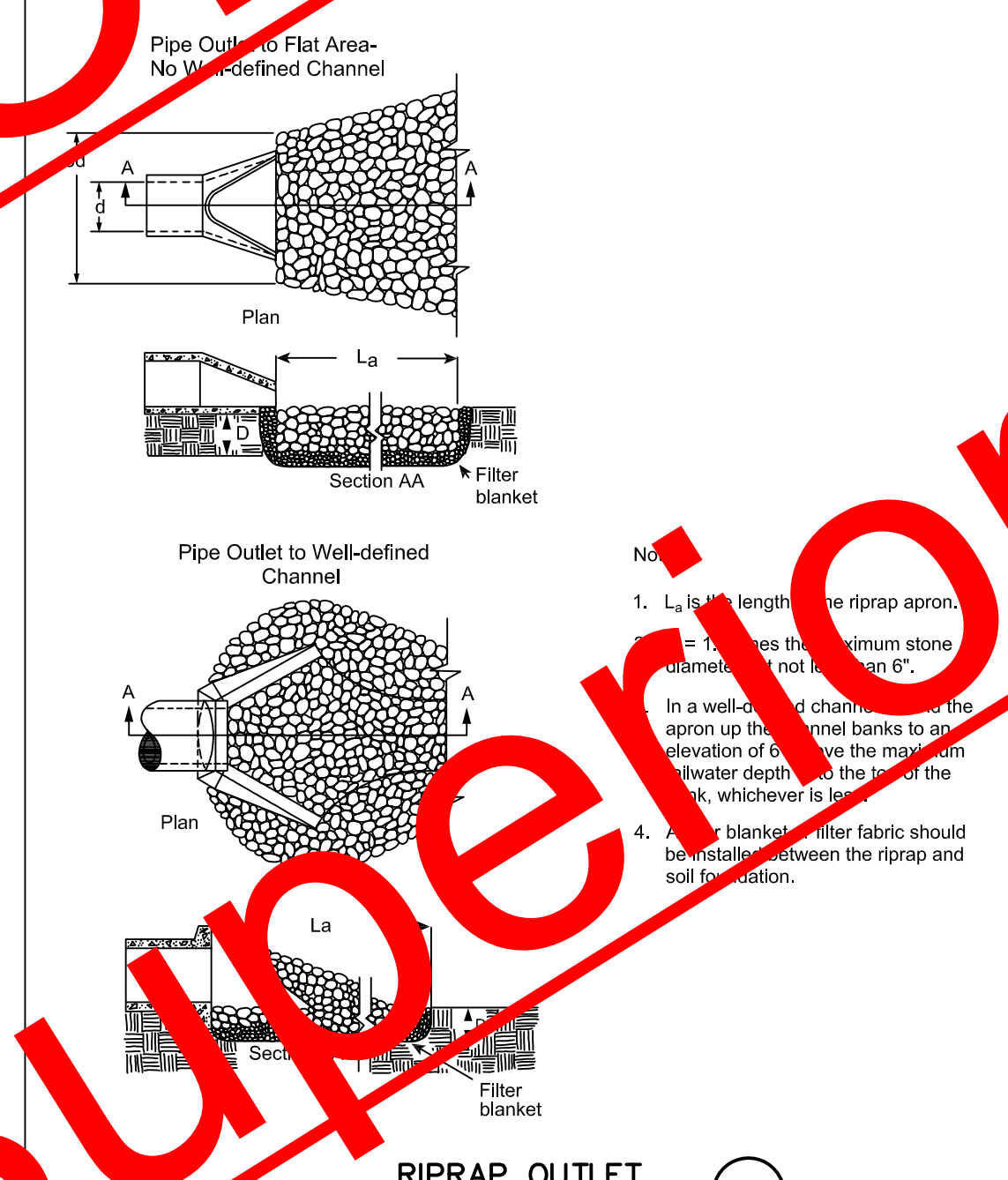
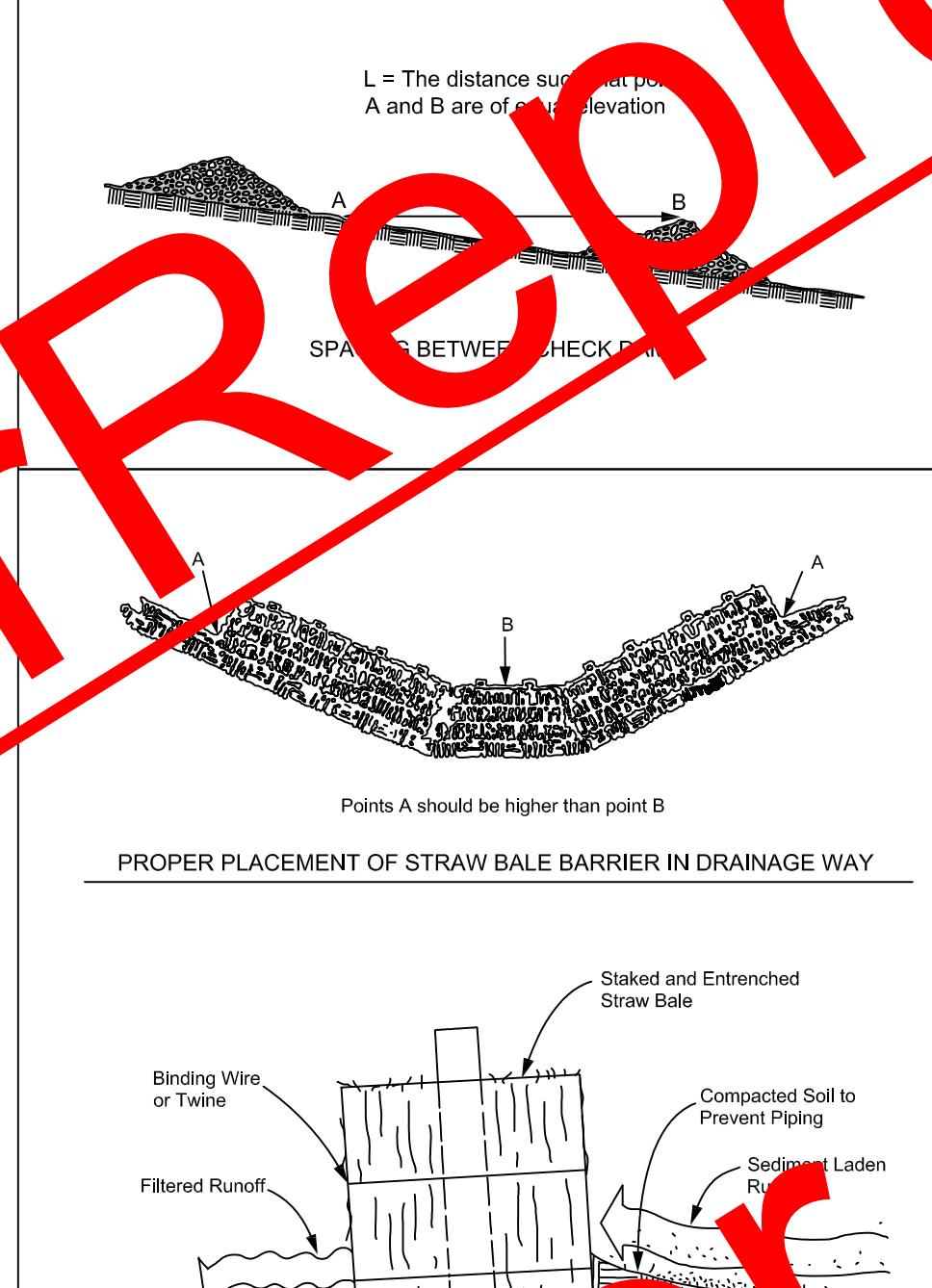
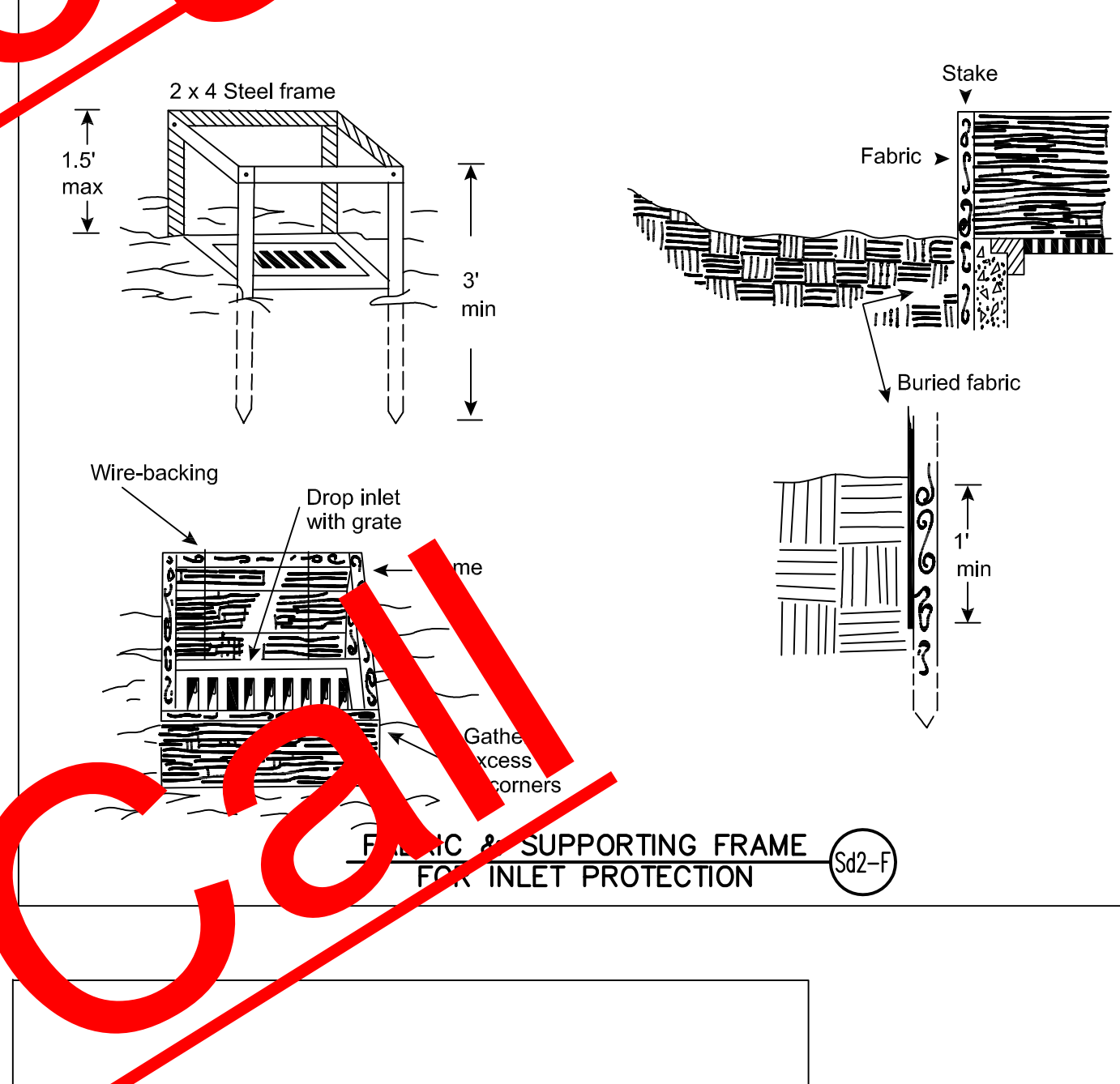
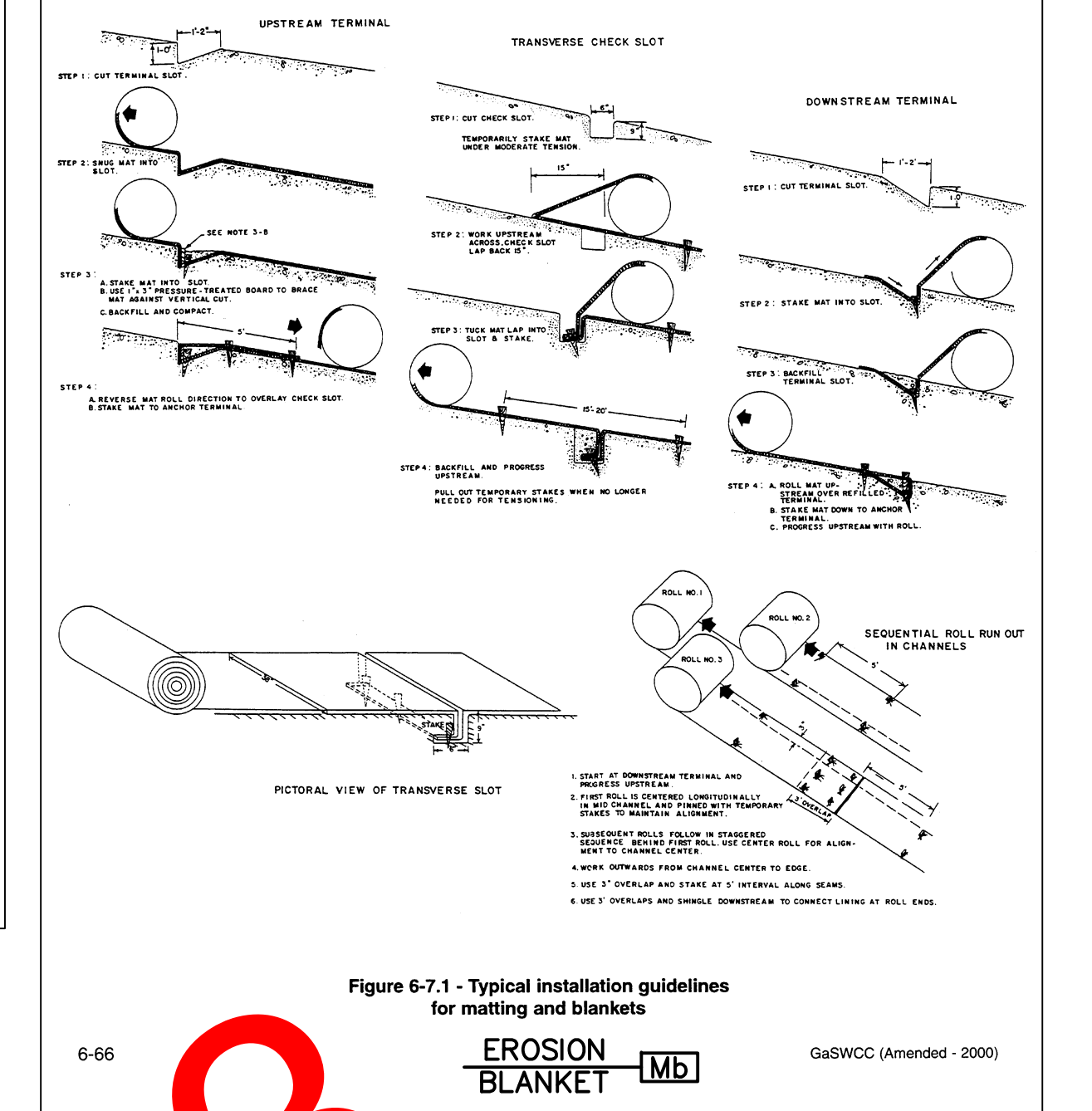
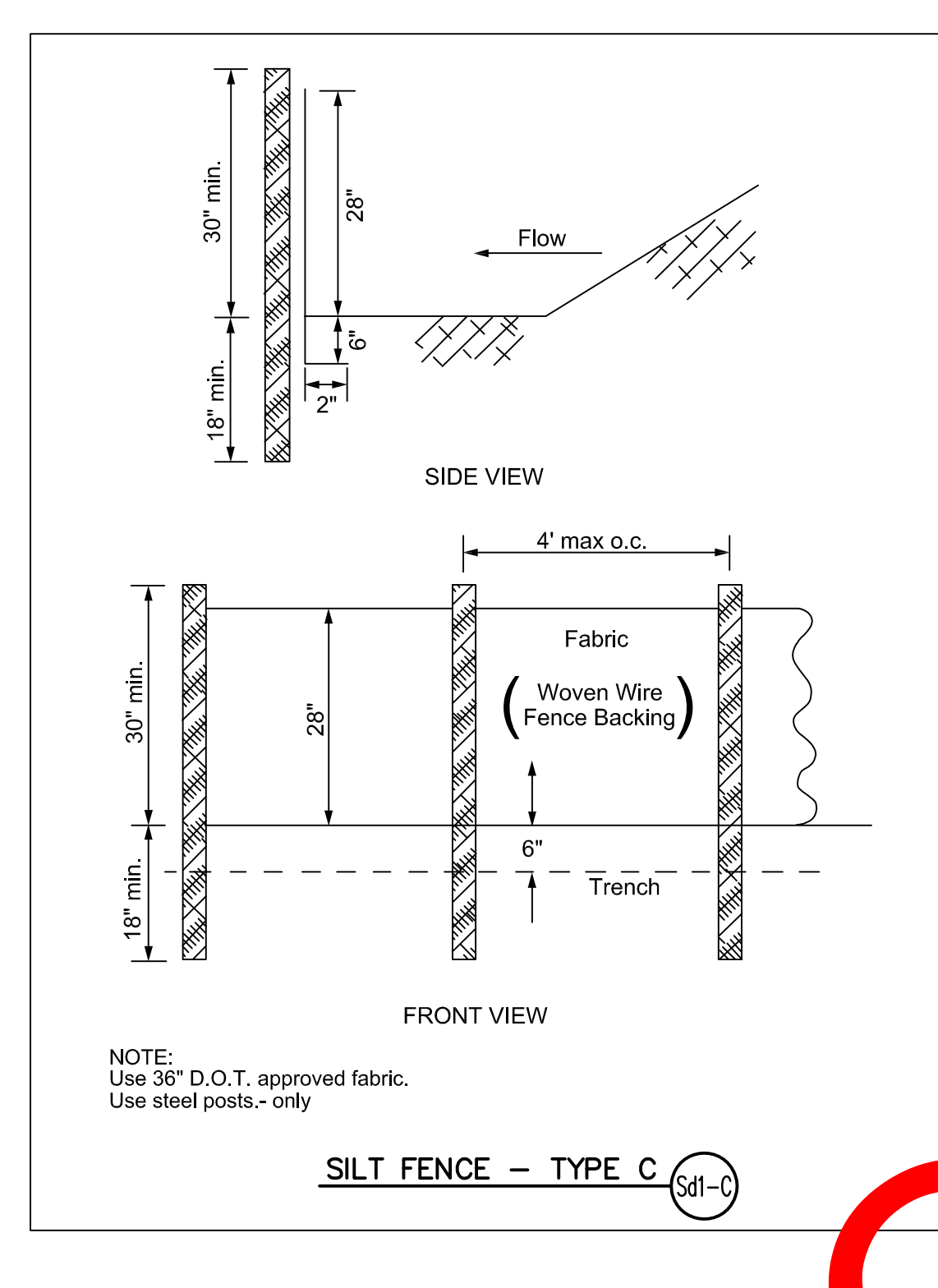
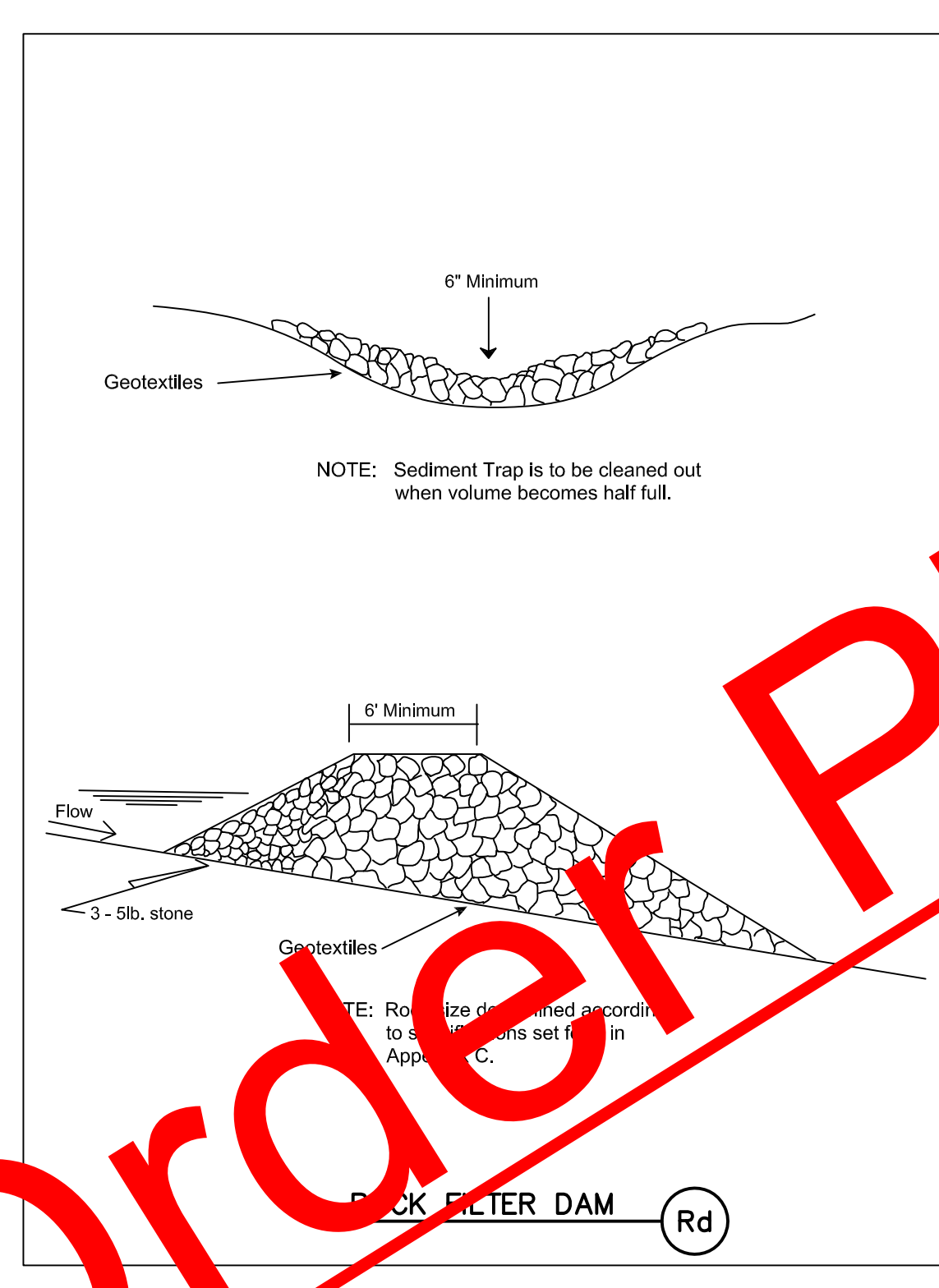
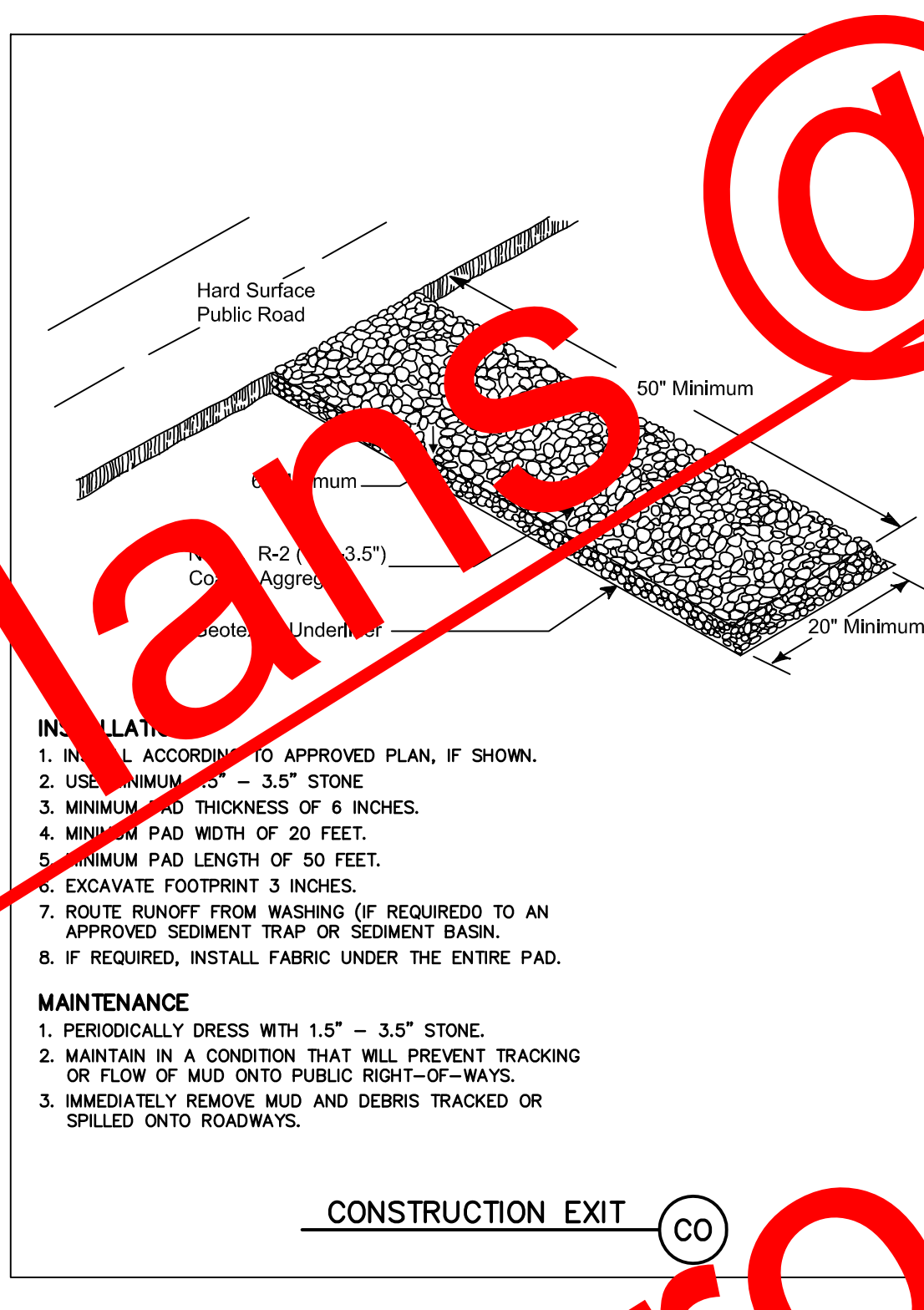
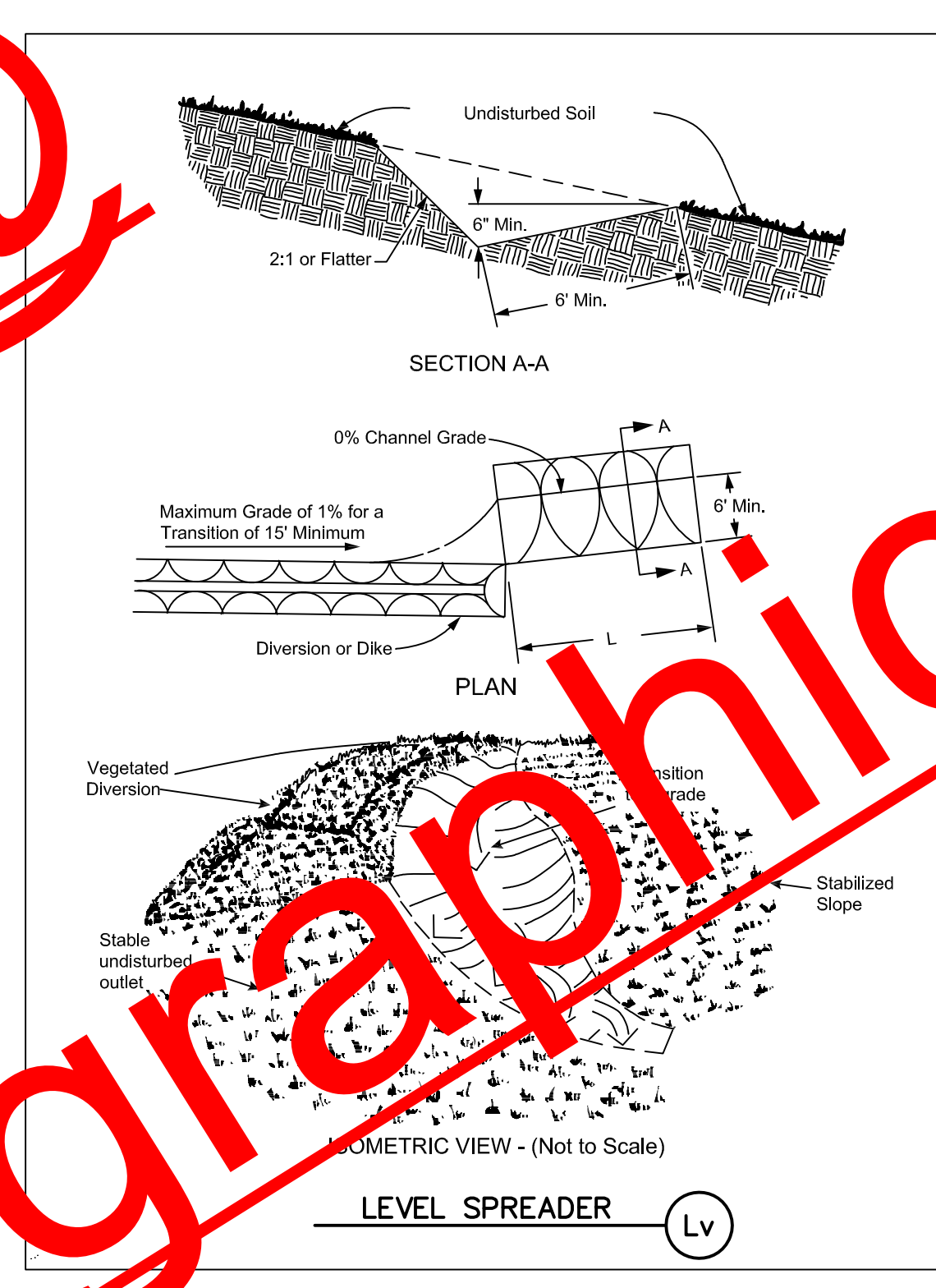
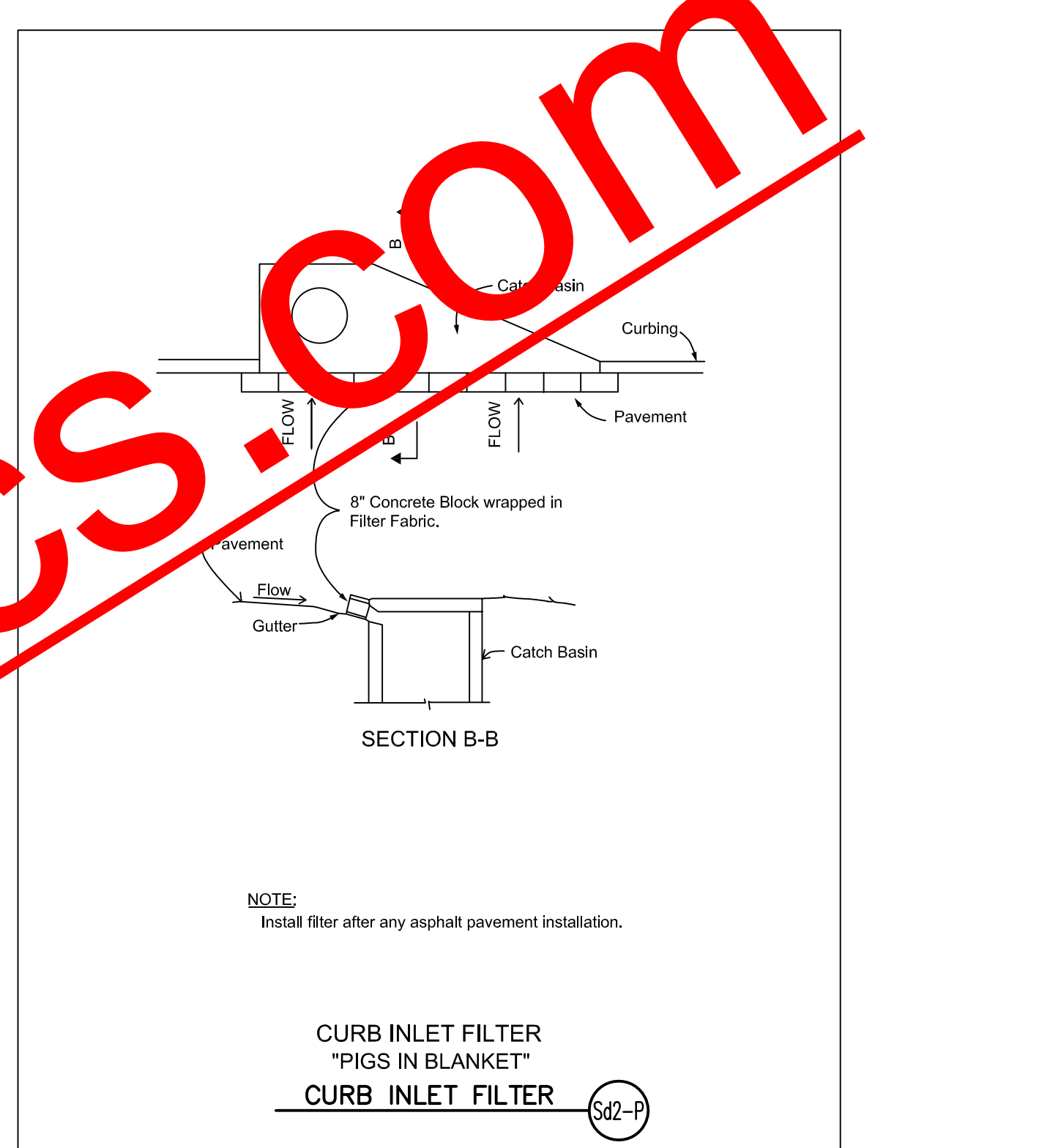
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REVISIONS:

NO. & DATE	DESCRIPTION
No. 1 5/25/11	COUNTY COMMENTS

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 PROJECT: 091283
 DRAWING NO.: C-10.1
 SEQ. OF: AS SHOWN



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Rt

- 1 Required stormwater storage = 0 cy
(as determined by local ordinance)
- 2 Required sediment storage = 479.72 cy
(67 cy/ac * 7.16 ac disturbed area)
- 3 Total required storage = 1 + 2 = 479.72 cy
- 4 Available storage = 2808 cy
- 5 Is the available storage (4) greater than the total required storage (3)? Yes
- 6 If "no", the sediment storage capacity of the pond must be increased.
Raise the invert of the outlet structure in ft
Undercut the pond Other
- 7 Clean-out elevation = 1028.25
elev corresponding to 22 cy/ac
- 8 Is the length-width ratio 2:1 or greater Yes
- 9 If "no", the length of flow must be increased.

Baffles - type Other

Half-round cmp pipe to be used
Diameter = 42 in
Height = 4.5 ft

FireSystems Inc.
ONE SOURCE... ONE CALL

FLOW TEST REPORT

Location: Rooms to Go Date: April 28, 2011
Address: 964 Barrett Pkwy, Kennesaw GA 30144
Test Made by: Justin Mckeohan Time: 8:00 AM
Representative of: Fire Systems, Inc.
State Purpose of Test: 3 YEAR FULL FLOW TEST

Consumption Rate: 1000
Pumps Affect Test: Indicate Pumps Operating: NA
Flow Hydrants: A1
Size Nozzle: 2.5
Pilot Reading: 40 Total GPM: 1000
Static B: 90 PSI Residual B: 60 PSI
Projected Results: at 20 psi Residual: 1,050 GPM

Remarks:
Indicate B Hydrant: A2 - Front of bldg

Location Map: Show line sizes and stations to next hydrant and include line. Show valves and hydrant branch size. Indicate North. Show bearing to label A, A1, A2
Show location of Static and Residual

FireSystems Inc.
ONE SOURCE... ONE CALL

HYDRANT INSPECTION REPORT

Hydrant: Mueller 5 1/4" 1985
Location: Barrett existing bldg
Muzzle: 2.5
Initial: 90
Residual: 60
Pilot: 40
Flow gpm: 1000
Time Flushed: 1 min
Flow Hydrants: A1
Size Nozzle: 2.5
Pilot Reading: 40 Total GPM: 1000
Static B: 90 PSI Residual B: 60 PSI
Projected Results: at 20 psi Residual: 1,050 GPM

Remarks:
Condition of Water: Clear

By: Justin Mckeohan Date: April 28, 2011

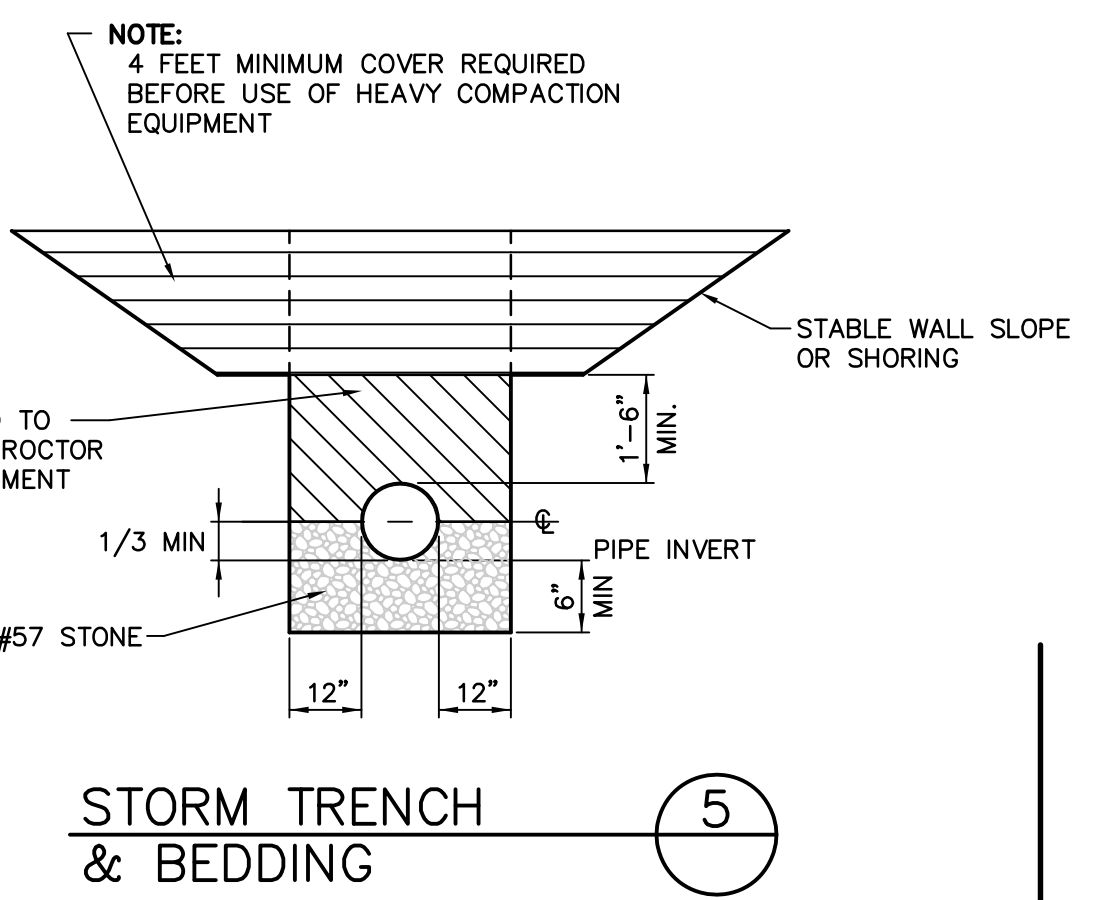
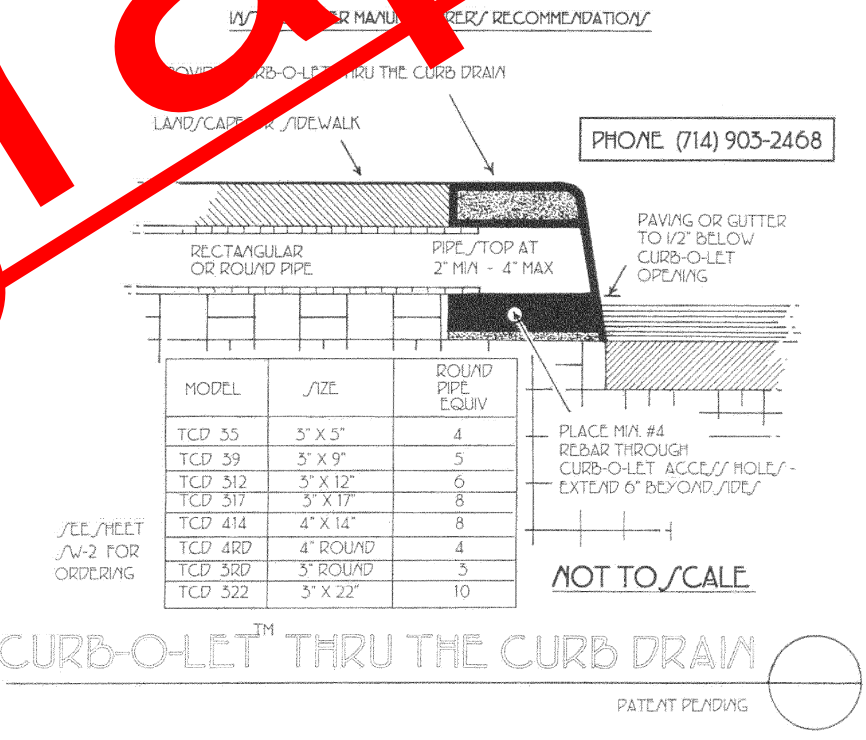
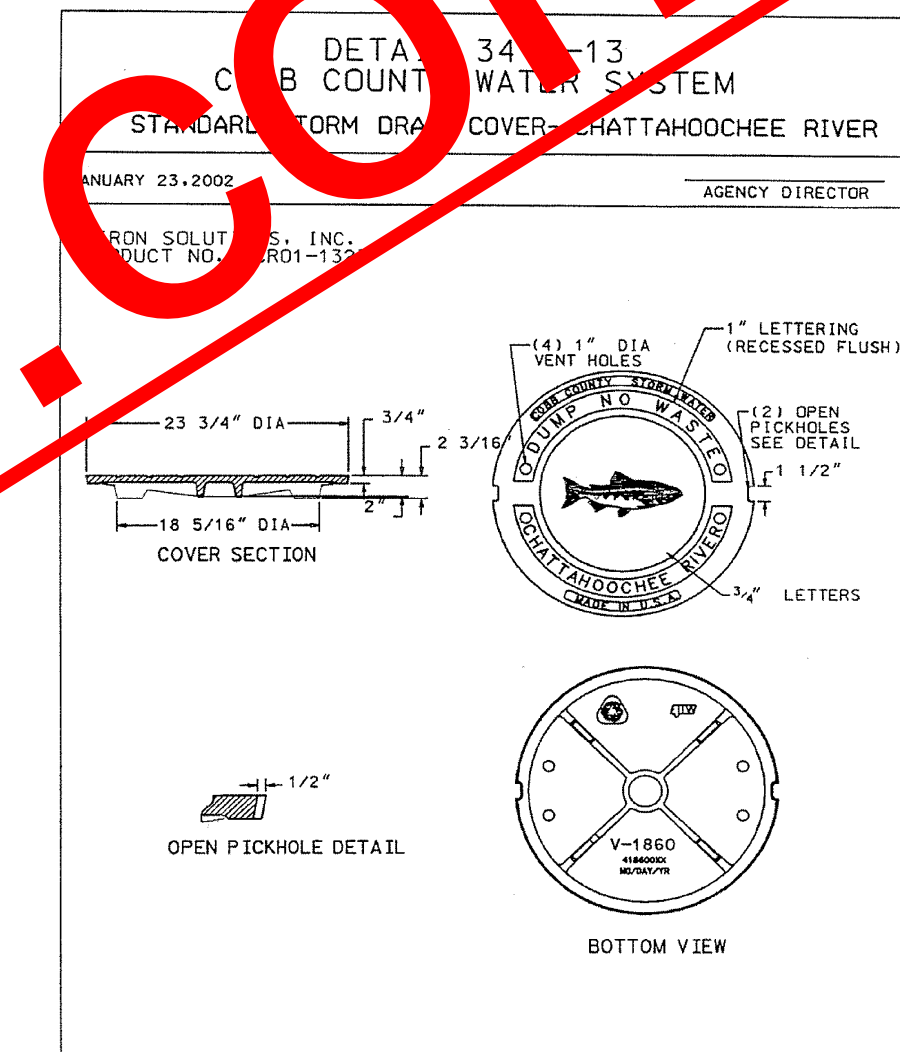
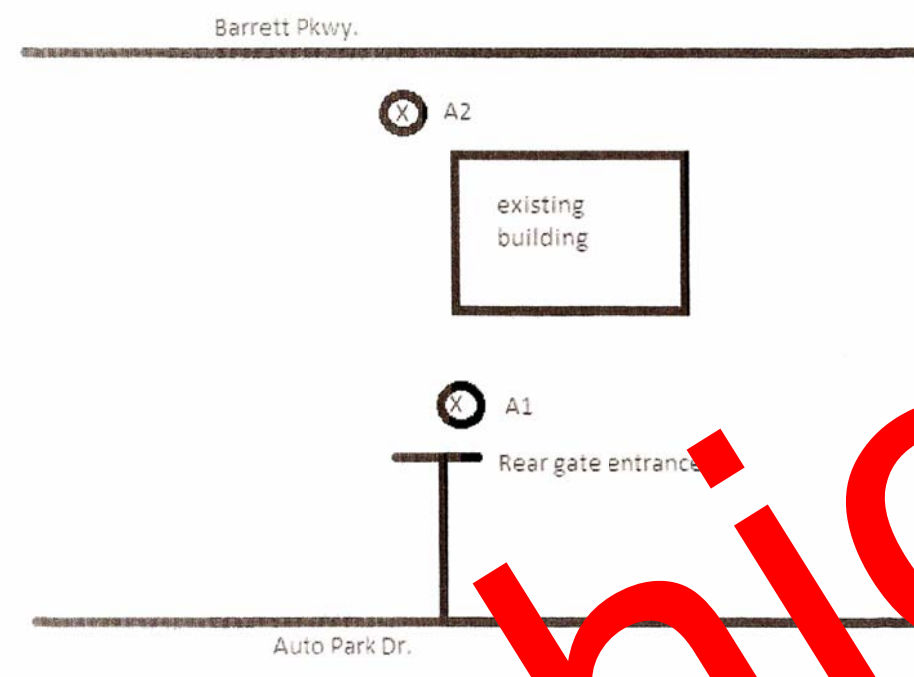


Table 6-4.1
FERTILIZER REQUIREMENTS

Plant Species	Planting Rate (lb/1000 sq ft)	Fertilizer Requirements (lb/1000 sq ft)
1. Common	1000	1000
2. Disturbed	1000	1000
3. Disturbed	1000	1000
4. Disturbed	1000	1000
5. Disturbed	1000	1000
6. Disturbed	1000	1000
7. Disturbed	1000	1000
8. Disturbed	1000	1000
9. Disturbed	1000	1000
10. Disturbed	1000	1000
11. Disturbed	1000	1000
12. Disturbed	1000	1000
13. Disturbed	1000	1000
14. Disturbed	1000	1000
15. Disturbed	1000	1000
16. Disturbed	1000	1000
17. Disturbed	1000	1000
18. Disturbed	1000	1000
19. Disturbed	1000	1000
20. Disturbed	1000	1000

Table 6-4.2
PLANTS, PLANTING RATES, AND PLANTING DATES FOR PERMANENT COVER

Species	Planting Rate (lb/1000 sq ft)	Planting Dates	Remarks
SAVIA, PYRACANNA (Pyracantha)	15 lbs. 0.5 ft.	2, 7, 11, 15, 19, 23, 27, 31	150,000 seed per pound. Do not plant in shade. Use 100% shade cloth. Do not plant in full sun. Use 50% shade cloth. Do not plant in full sun. Use 50% shade cloth.
... (Other species and rates follow similar format)			

Table 6-4.3
PLANTS, PLANTING RATES, AND PLANTING DATES FOR PERMANENT COVER

Species	Planting Rate (lb/1000 sq ft)	Planting Dates	Remarks
... (Species and rates)			

Table 6-4.4
PLANTS, PLANTING RATES, AND PLANTING DATES FOR TEMPORARY COVER OR COMPACTION GROUPTS

Species	Planting Rate (lb/1000 sq ft)	Planting Dates	Remarks
... (Species and rates)			

Table 6-4.1
FERTILIZER REQUIREMENTS

Plant Species	Planting Rate (lb/1000 sq ft)	Fertilizer Requirements (lb/1000 sq ft)
1. Common	1000	1000
2. Disturbed	1000	1000
3. Disturbed	1000	1000
4. Disturbed	1000	1000
5. Disturbed	1000	1000
6. Disturbed	1000	1000
7. Disturbed	1000	1000
8. Disturbed	1000	1000
9. Disturbed	1000	1000
10. Disturbed	1000	1000
11. Disturbed	1000	1000
12. Disturbed	1000	1000
13. Disturbed	1000	1000
14. Disturbed	1000	1000
15. Disturbed	1000	1000
16. Disturbed	1000	1000
17. Disturbed	1000	1000
18. Disturbed	1000	1000
19. Disturbed	1000	1000
20. Disturbed	1000	1000

Table 6-4.2
PLANTS, PLANTING RATES, AND PLANTING DATES FOR PERMANENT COVER

Species	Planting Rate (lb/1000 sq ft)	Planting Dates	Remarks
... (Species and rates)			

Disturbed Area Stabilization with Permanent Seeding [Ds3]

Disturbed Area Stabilization with Temporary Seeding [Ds2]

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GEORGIA REGISTERED PROFESSIONAL ENGINEER
MADE HANNIOTT
SEAL 5/25/11

GSWCC LEVEL II CERTIFICATION #112

pharr engineering
PHARR ENGINEERING ASSOCIATES, LLC
CIVIL ENGINEERS
3050 FIVE FORKS TRUCKING ROAD, SUITE 6690
LUBBICK, GEORGIA 30047
TEL: 770-447-4400 / 770-447-4442 FAX

ROOMS TO GO
964 BARRETT PARKWAY
COBB COUNTY, GEORGIA

BULLDOG KN LLC
11540 E. U.S. HIGHWAY 92
SEFFNER, FLORIDA 33564

REVISIONS:

No. & DATE	DESCRIPTION
No. 1 5/25/11	COUNTY COMMENTS

DRAWING TITLE:
CONSTRUCTION DETAILS

DATE: 12/23/08
PROJECT: 091283
DRAWING NO.: C-10.2

SCALE: AS SHOWN



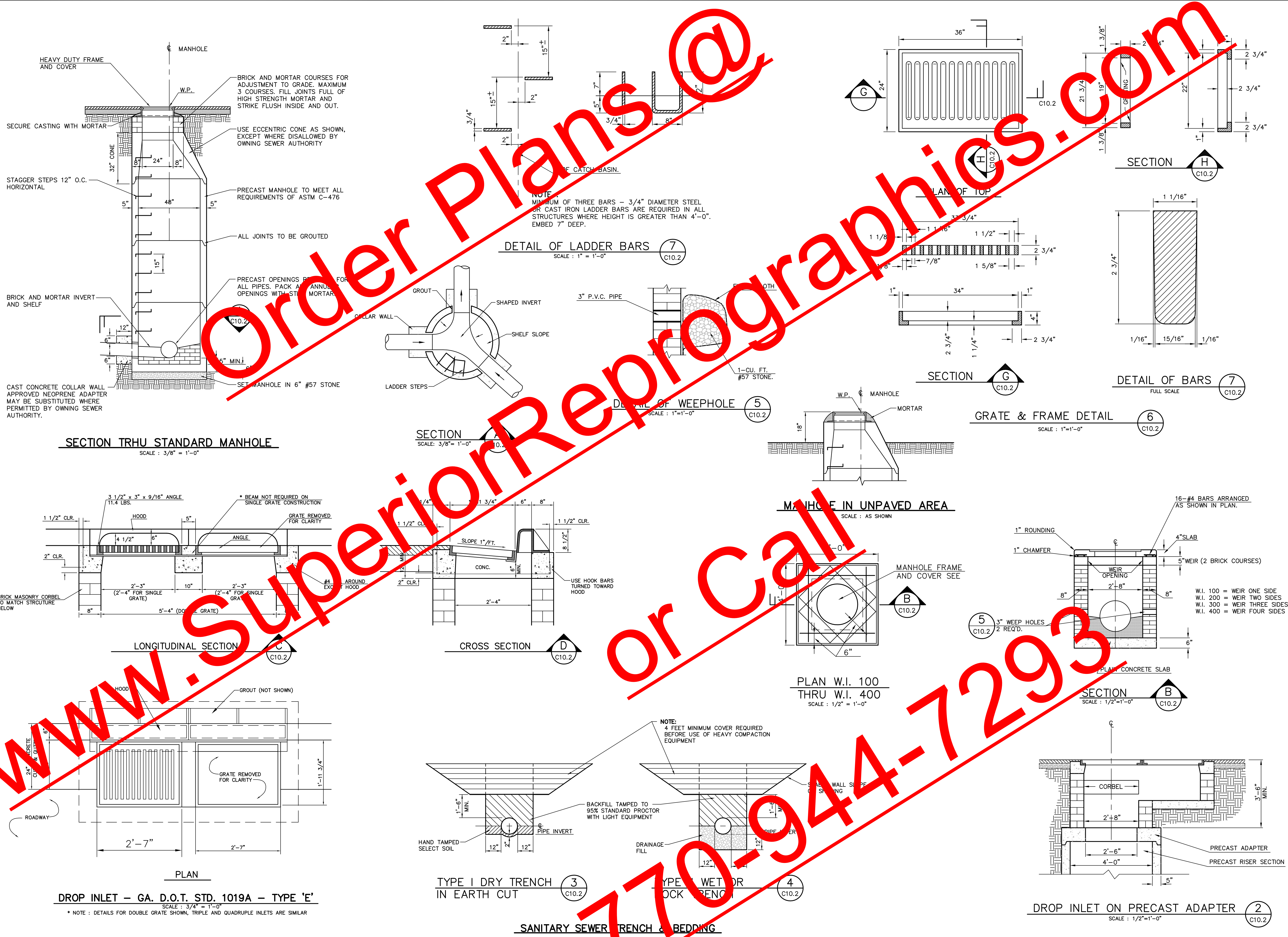
pharrengineering
PHARR ENGINEERING ASSOCIATES, LLC
CIVIL ENGINEERS
3050 FIVE FORKS TRUCKING ROAD, SUITE 6590
LUBURN, GEORGIA 30047
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ROOMS TO GO
964 BARRETT PARKWAY
COBB COUNTY, GEORGIA
BULLDOG KN LLC
11540 E. US HIGHWAY 92
SEFFNER, FLORIDA 33564

NO. & DATE	DESCRIPTION
No. 1 5/25/11	COUNTY COMMENTS

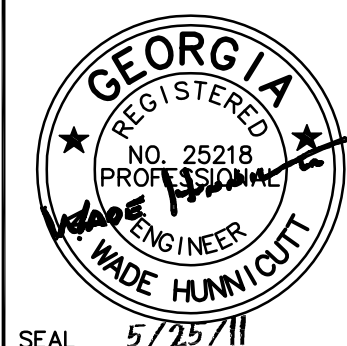
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DATE: 12/21/10
PROJECT: 091283
DRAWING NO.:
C-10.3
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ROOMS TO GO
964 BARRETT PARKWAY
COBB COUNTY, GEORGIA
BULLDOG KN LLC
11540 E. US HIGHWAY 92
SEFFNER, FLORIDA 33584

REVISIONS :

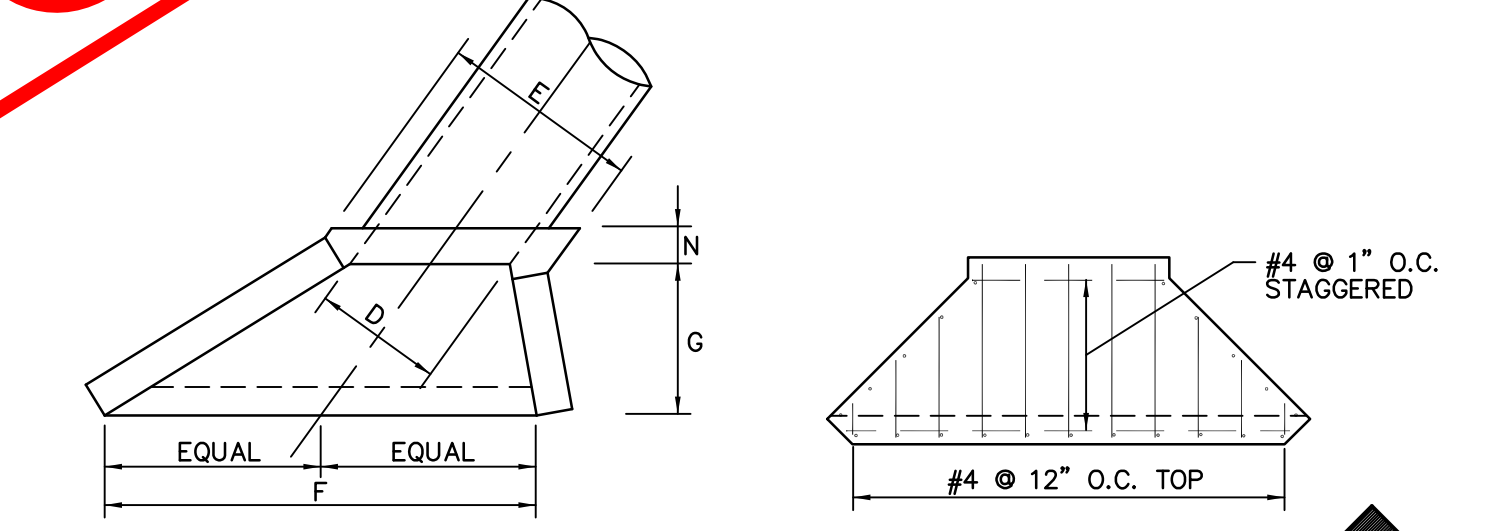
NO. & DATE	DESCRIPTION
No. 1 5/25/11	COUNTY COMMENTS

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DATE : 12/21/10
PROJECT : 091283
DRAWING NO. :
C-10.4
SEQ. OF
SCALE :

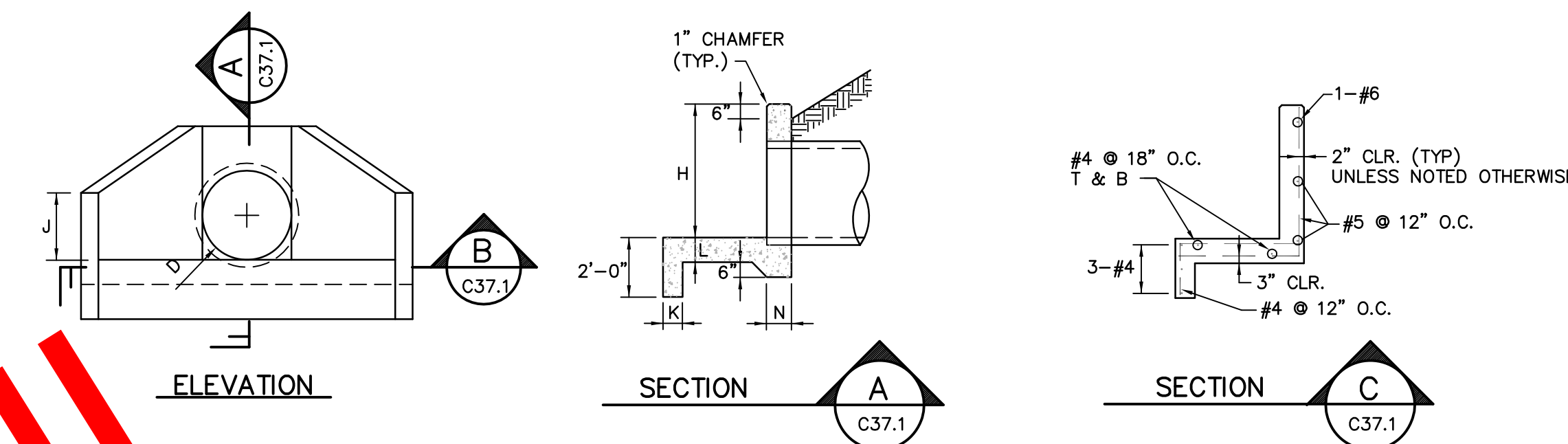
D	E	F	G	H	J	K	L	N	R	CONC. VOL.
18"	3'-0"	7'-6"	3'-0"	3'-0"	2'-0"	8"	8"	8"	#5-12" O.C.	1.70
21"	3'-4"	7'-9"	3'-0"	3'-3"	2'-0"	8"	8"	8"	#5-12" O.C.	1.80
24"	3'-8"	8'-0"	3'-0"	3'-6"	2'-0"	8"	8"	8"	#5-12" O.C.	1.90
30"	4'-2"	8'-6"	3'-0"	4'-0"	2'-1"	8"	8"	10"	#5-12" O.C.	2.85
36"	4'-8"	10'-0"	3'-6"	4'-6"	2'-3"	8"	10"	10"	#5-12" O.C.	3.15
42"	5'-3"	11'-6"	4'-0"	5'-0"	2'-9"	8"	10"	10"	#5-12" O.C.	3.87
48"	5'-10"	13'-0"	4'-6"	5'-6"	3'-0"	8"	10"	12"	#5-12" O.C.	5.08
54"	6'-5"	14'-6"	5'-0"	6'-0"	3'-3"	9"	12"	12"	#6-8" O.C.	6.50
60"	7'-0"	16'-0"	5'-6"	6'-6"	3'-6"	9"	12"	12"	#6-8" O.C.	7.98
66"	7'-7"	17'-6"	6'-0"	7'-0"	3'-9"	9"	12"	14"	#6-8" O.C.	9.14
72"	8'-2"	19'-0"	6'-6"	7'-6"	4'-3"	9"	12"	14"	#6-8" O.C.	11.10
78"	8'-9"	20'-0"	7'-0"	8'-0"	4'-6"	9"	12"	14"	#6-8" O.C.	12.9
84"	9'-4"	22'-0"	7'-6"	8'-6"	5'-0"	9"	12"	14"	#6-8" O.C.	14.7

HEADWALL DIMENSIONS

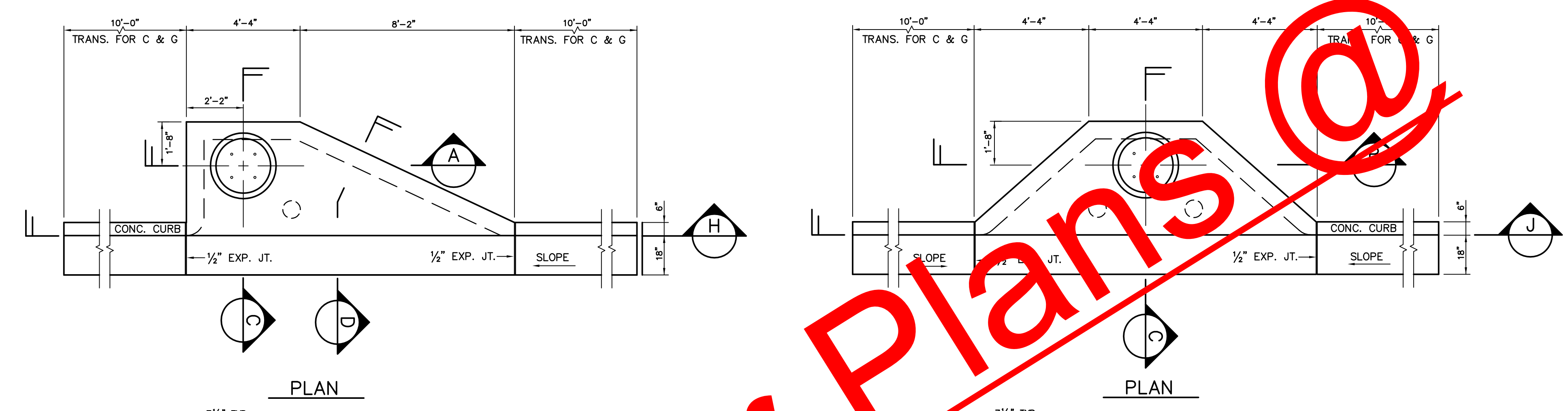


PLAN SHOWING METHOD OF SKEWING HEADWALLS

- NOTES :
- HEADWALL IS ALWAYS CONSTRUCTED PERPENDICULAR TO SLOPE.
 - SECTION AND REBARS ARE SIMILAR TO 90° HEADWALL . CONCRETE QUANTITY DIFFERS.

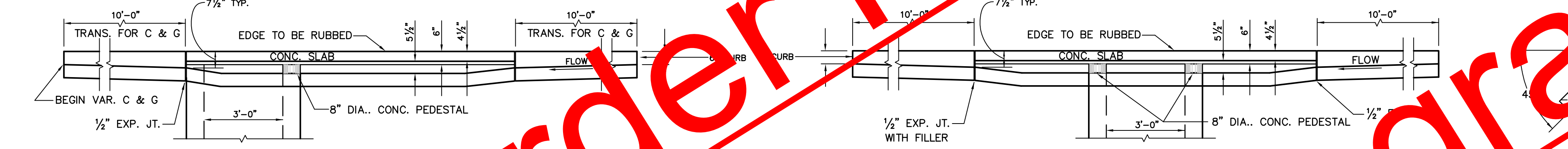


HEADWALL DETAILS 3
SCALE: 1/4" = 1'-0"



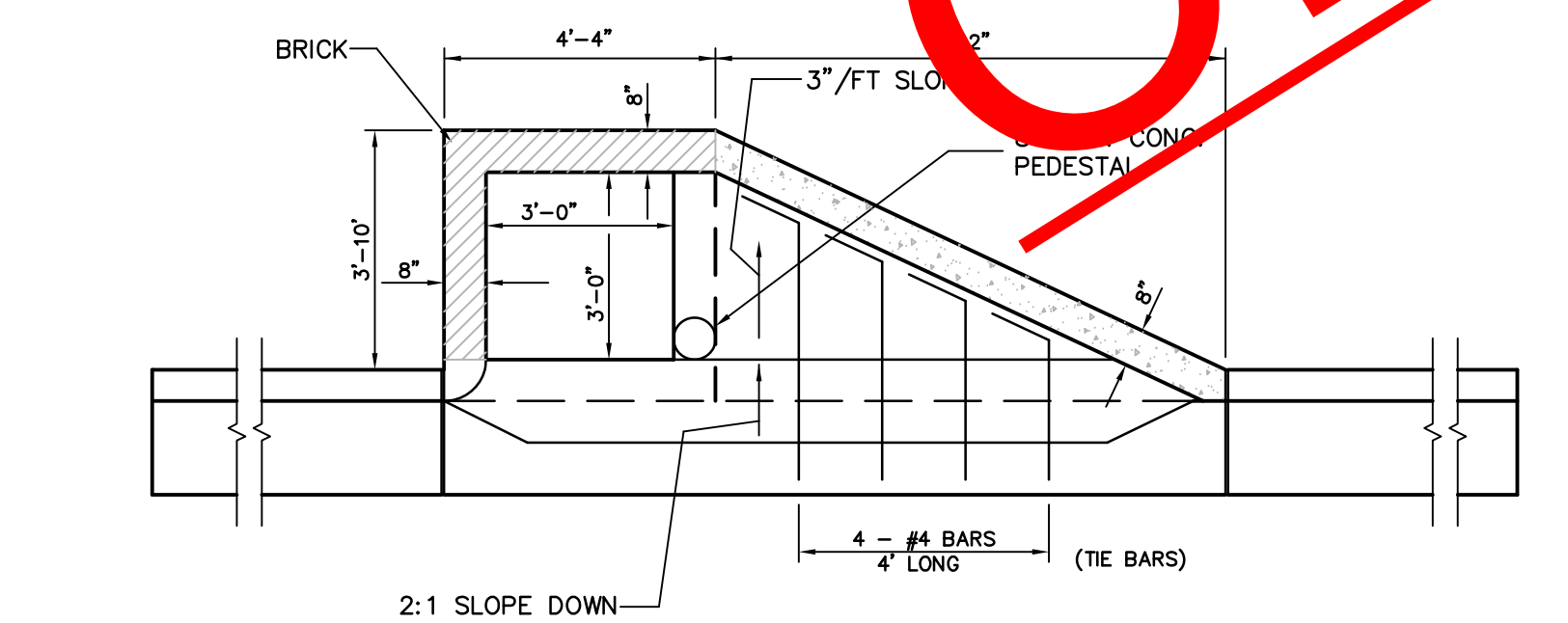
PLAN

PLAN

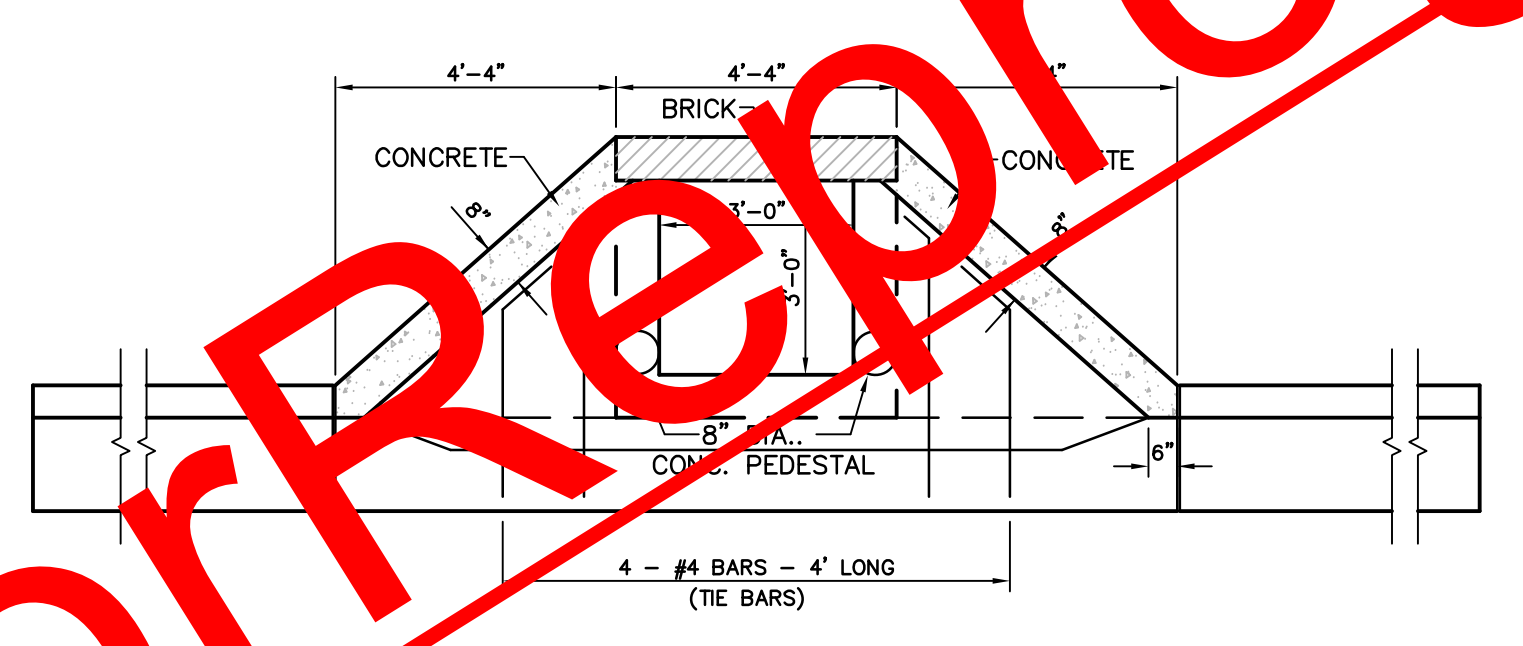


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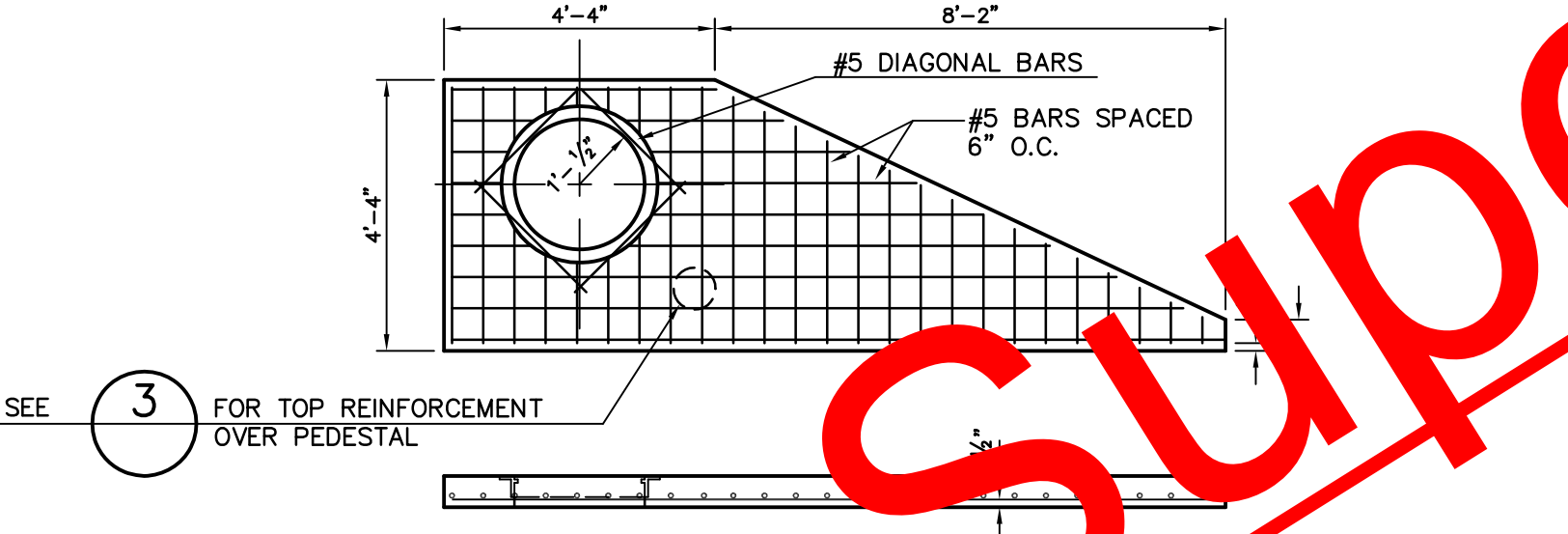
SECTION



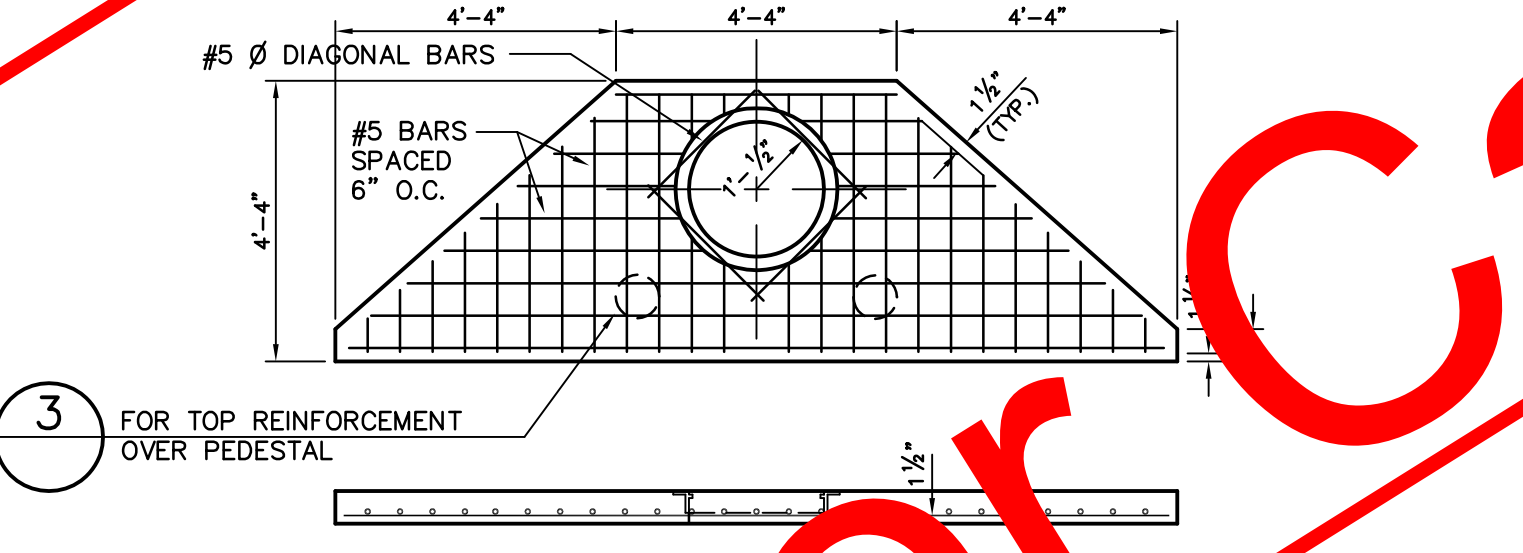
PLAN WITH TOP REMOVED



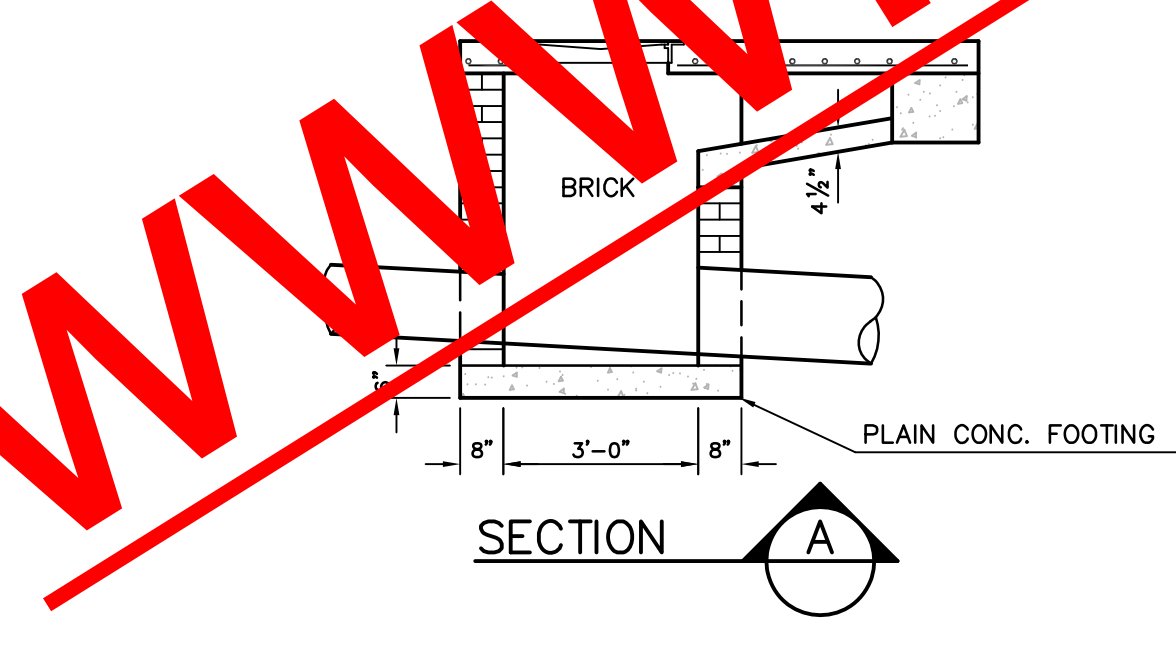
PLAN WITH TOP REMOVED



TOP SLAB REINFORCEMENT

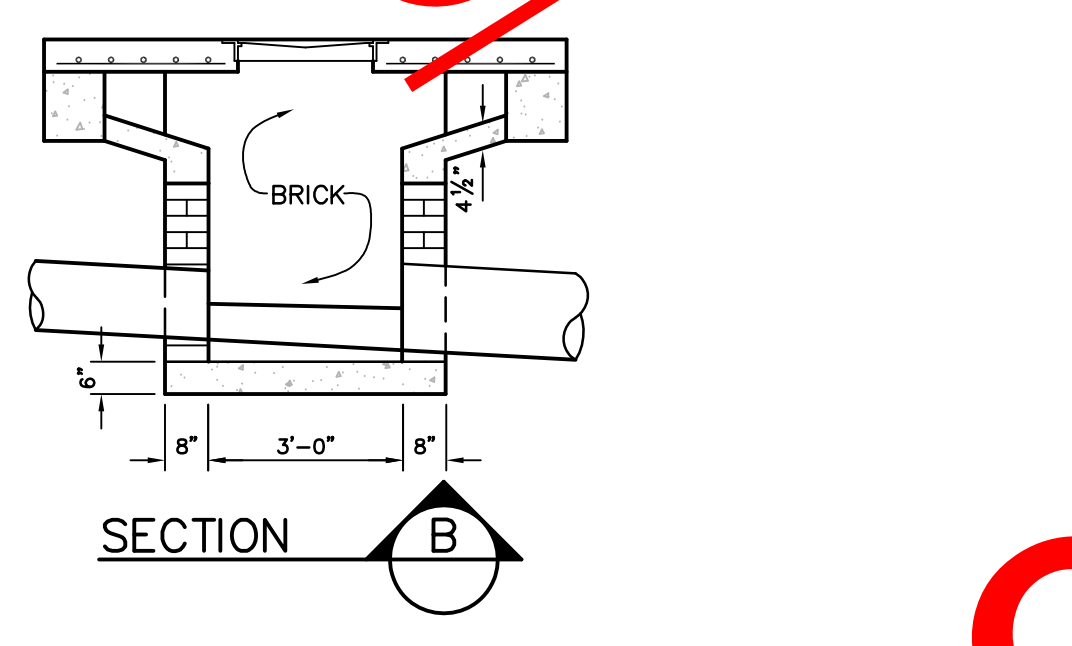


TOP SLAB REINFORCEMENT



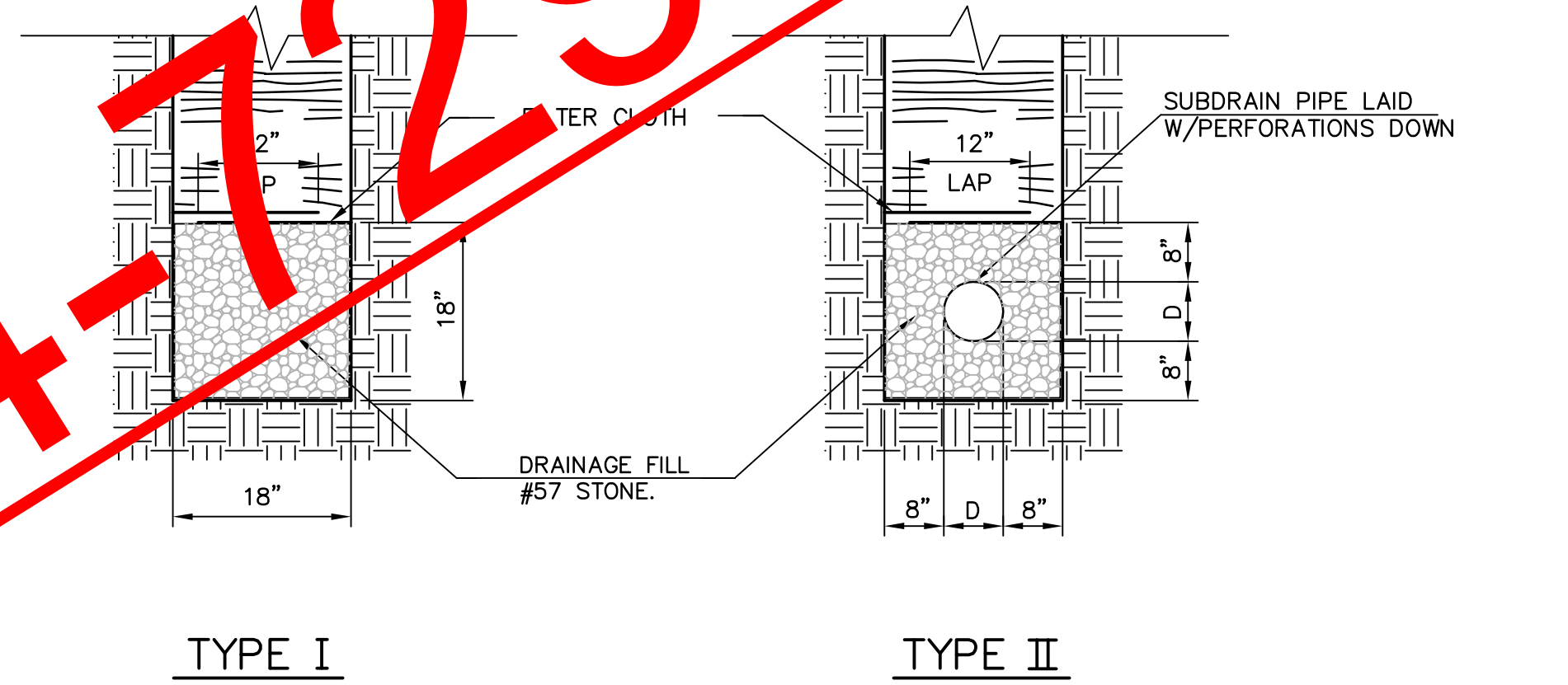
SECTION A

CATCH BASIN 100
SCALE: 3/8" = 1'-0"



SECTION B

CATCH BASIN 200
SCALE: 3/8" = 1'-0"



TYPE I

TYPE II

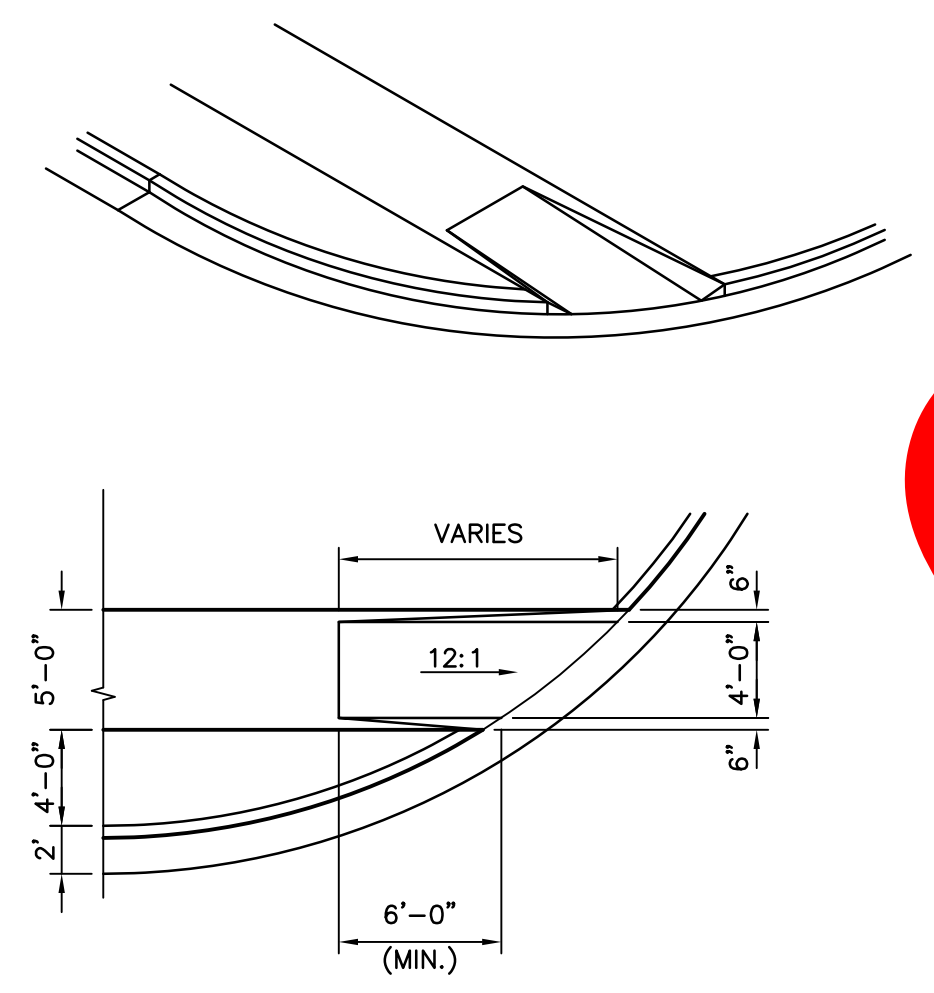
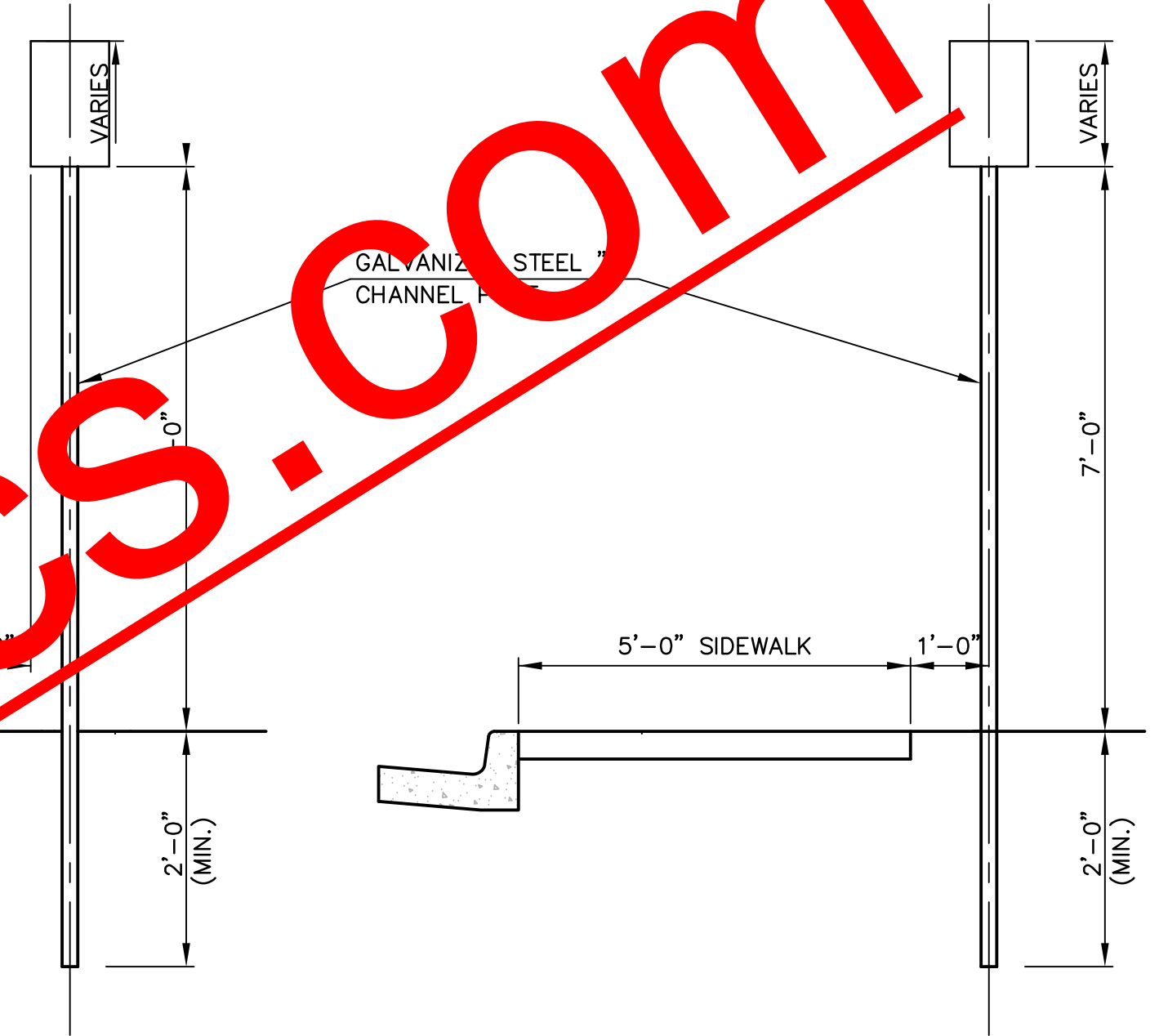
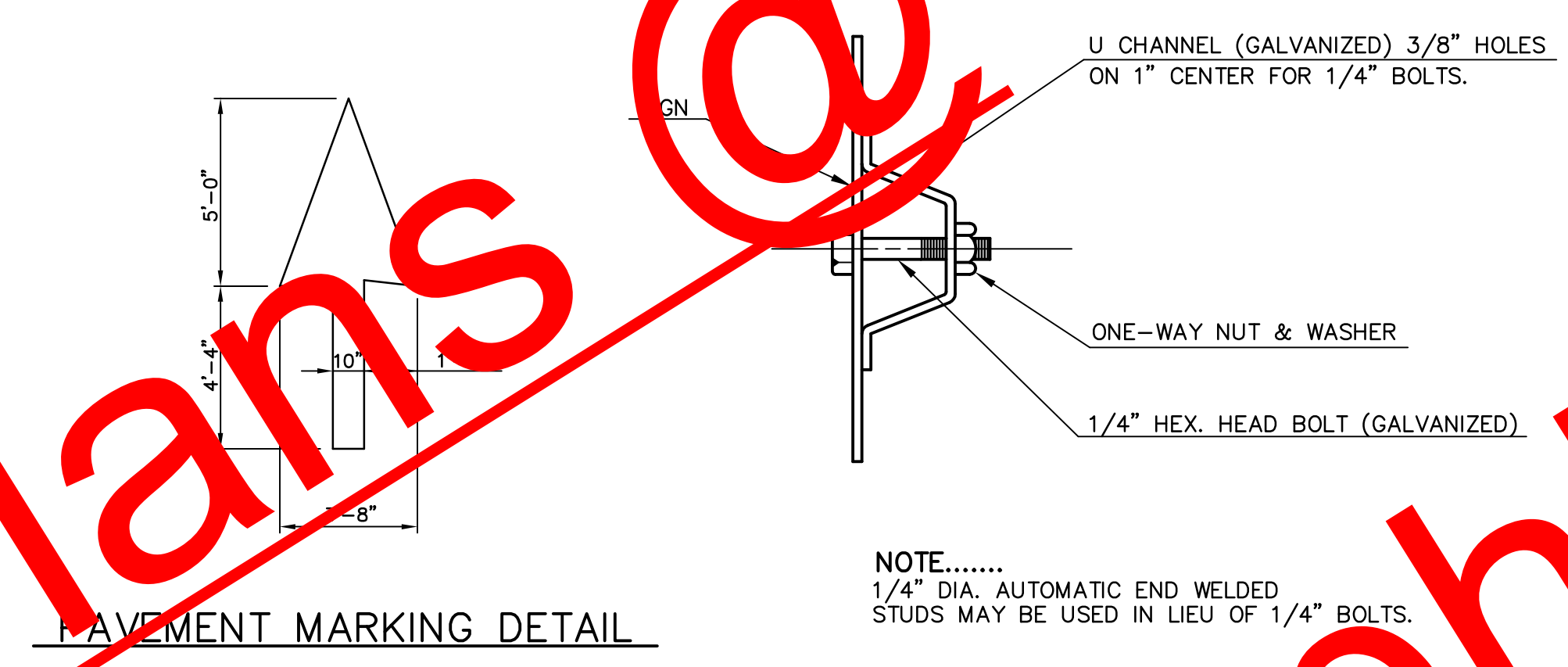
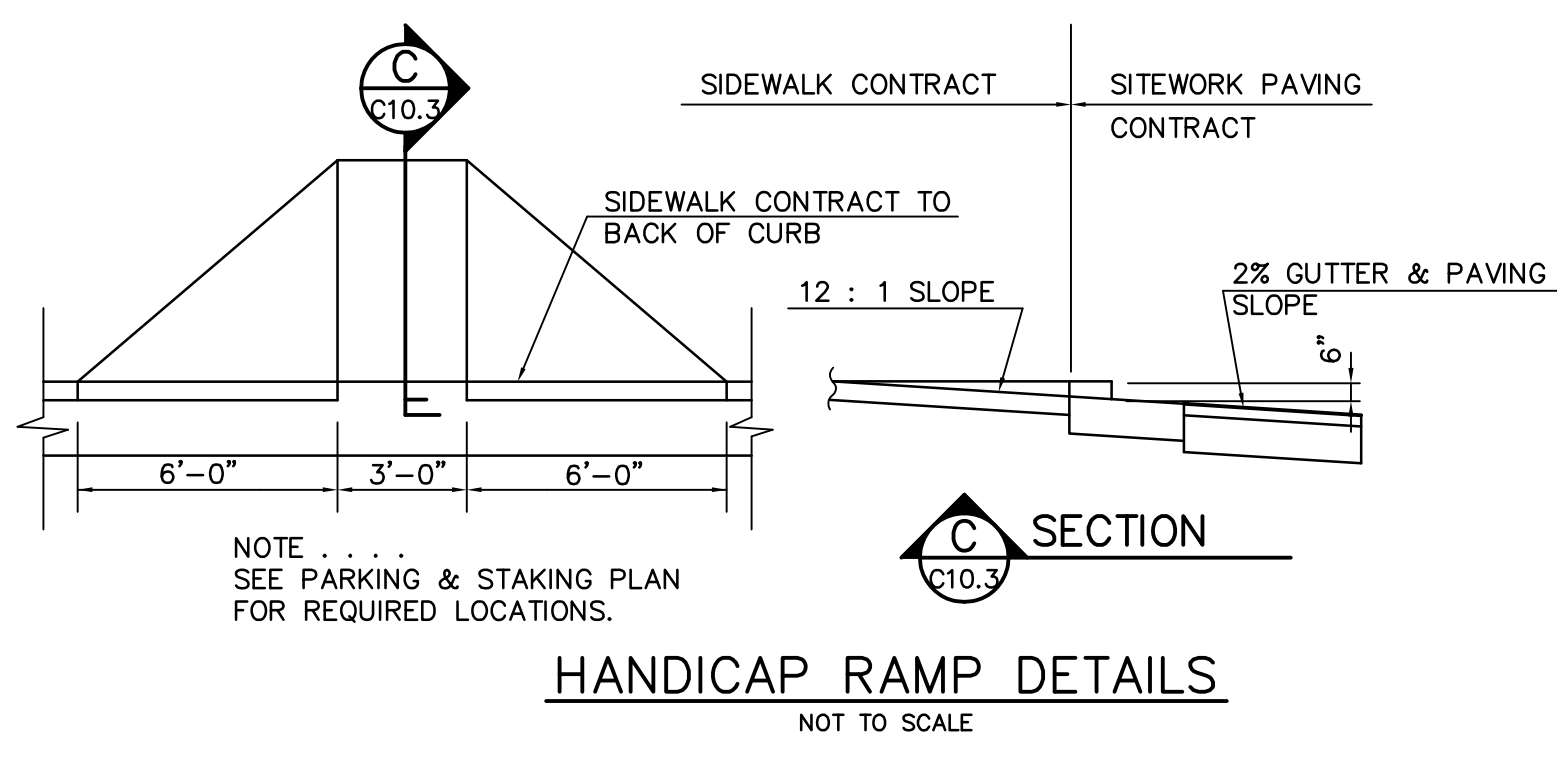
UNDERDRAIN DETAILS
SCALE: 3/4" = 1'-0"

NOTE : ALL UNDERDRAIN IS TYPE II UNLESS OTHERWISE NOTED.

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REVISIONS:

NO. & DATE	DESCRIPTION
No. 1 5/25/11	COUNTY COMMENTS

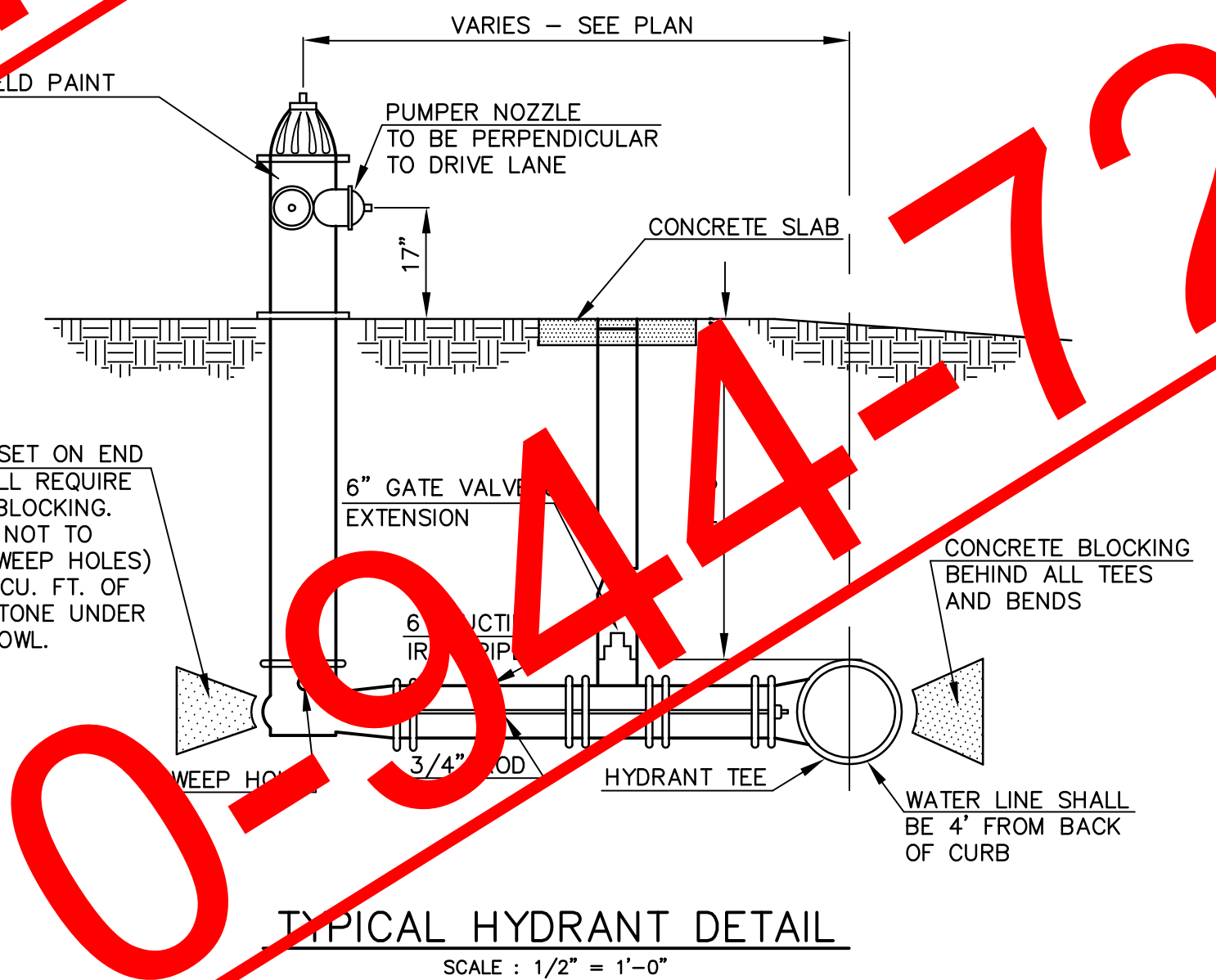
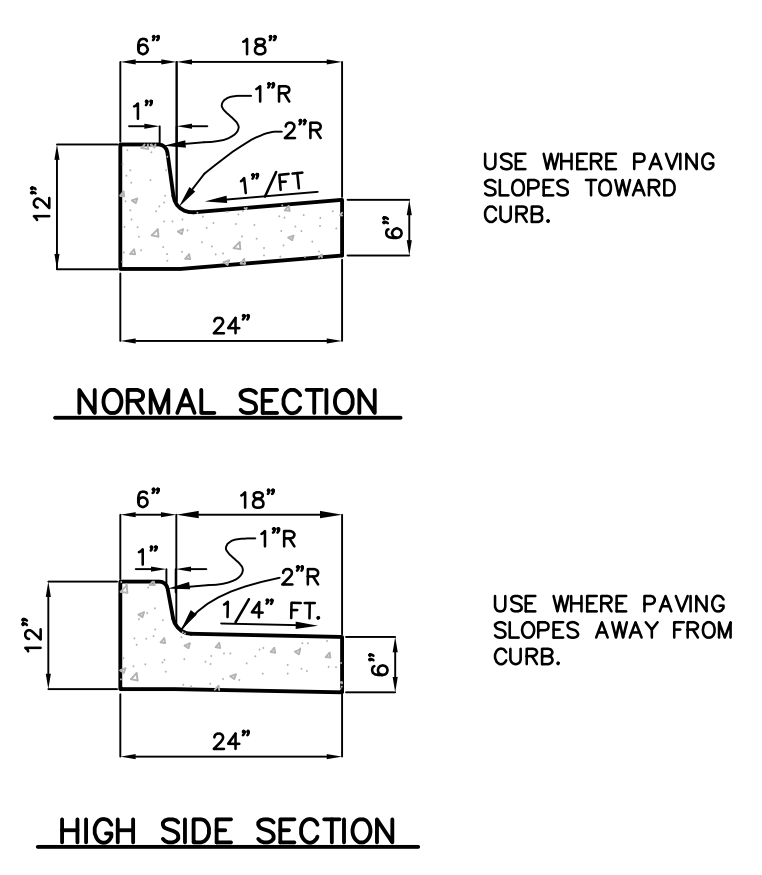
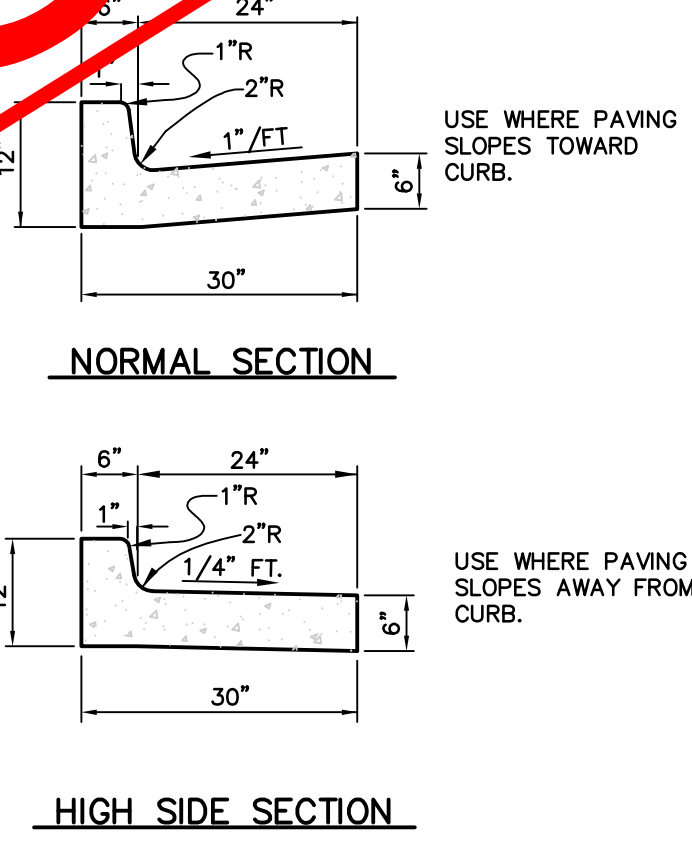
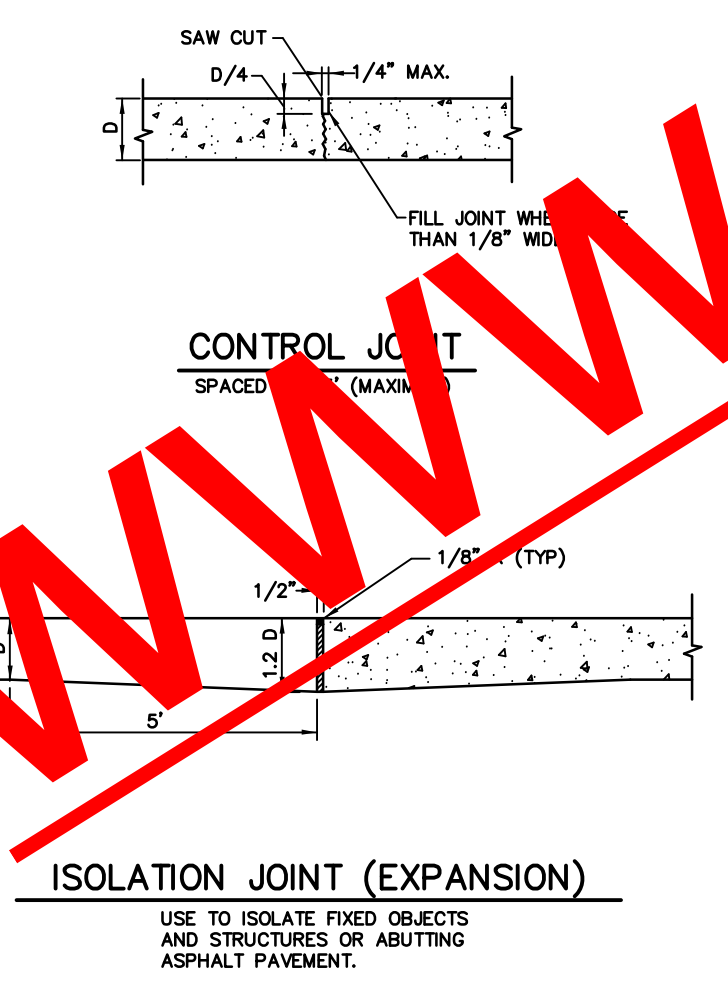
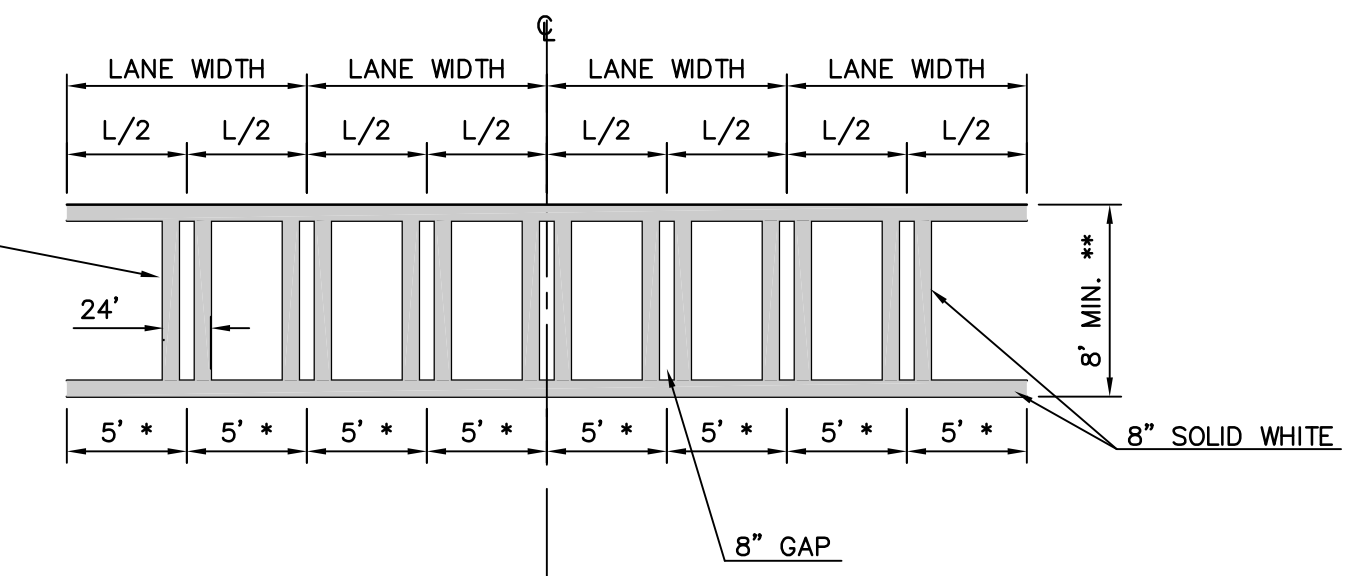
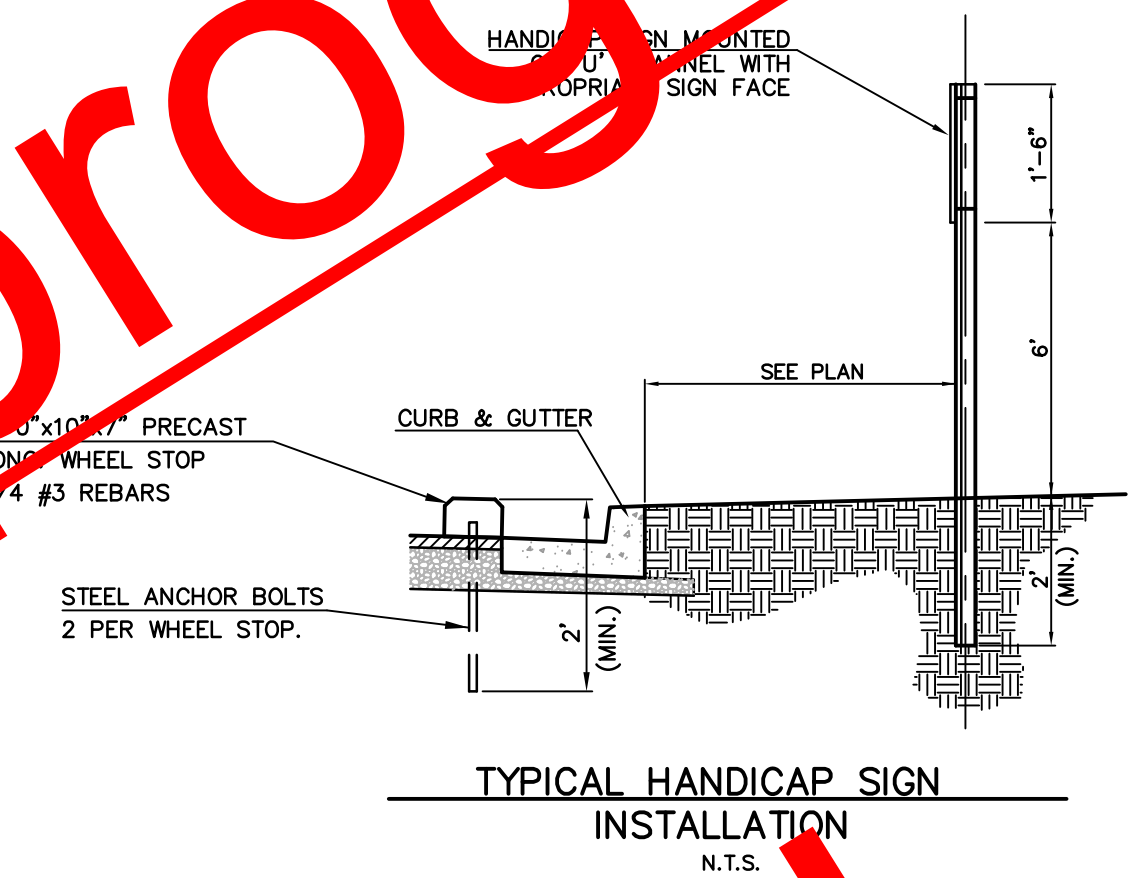


NOTE: ALL HANDICAP RAMPS TO BE CONSTRUCTED PER ADA, INCLUDING DETECTABLE WARNINGS

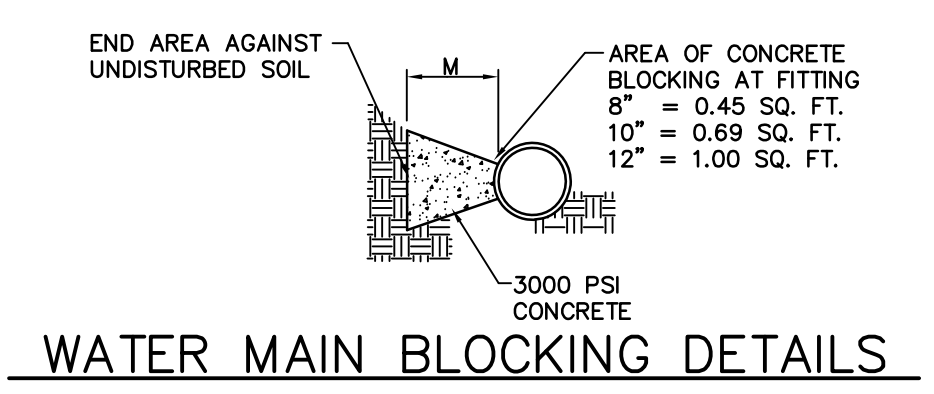
DETAIL 114 TREE PARKING

ANGLE	DEPTH	WIDTH	LENGTH	HEIGHT	WIDTH	LENGTH	HEIGHT	WIDTH	LENGTH	HEIGHT	WIDTH	LENGTH	HEIGHT
0°	18.5"	12.0"	20.5"	29.0"	24.0"								
45°	18.5"	13.0"	32.5"	52.0"	12.0"	8.5"	27.5"	14.0"	32.0"	6.5"	46.0"		
60°	20.0"	14.0"	38.0"	59.0"	14.0"	8.5"	27.5"	14.0"	32.0"	7.0"	55.0"		
90°	24.0"	24.0"	43.0"	62.0"	18.5"	8.5"	27.5"	14.0"	32.0"	8.0"	55.0"		

NOTE: Safety Curb (Detail 112) is required for spaces adjacent to the Public Right of Way.



SIZE	11 1/4" & 22 1/2"	45'	90'	TEE								
END AREA SQ.FT.	M	CU YD	END AREA SQ.FT.	M	CU YD	END AREA SQ.FT.	M	CU YD				
8"	1.96	1.0	0.04	3.85	1.0	0.08	7.11	1.5	0.21	5.03	1.5	0.15
10"	3.07	1.0	0.07	6.00	1.5	0.19	11.1	1.5	0.33	7.85	1.5	0.24
12"	4.41	1.0	0.10	8.66	1.5	0.27	16.0	2.0	0.63	11.3	1.5	0.34



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PAGE 2 OF 5 APPLICATION NO. Z-7
 ORIGINAL DATE OF APPLICATION: 03-15-11
 APPLICANT'S NAME: MACK & ABE, INC.
 THE FOLLOWING REPRESENTS THE FINAL DECISIONS OF THE COBB COUNTY BOARD OF COMMISSIONERS
BOC DECISION OF 03-15-11 ZONING HEARING:
ROOMS TO GO (GlassRater Management & Realty Advisors, LLC as Receiver for Heartland, L.P., owner) requesting Rezoning from GC with Stipulations to GC with Stipulations for the purpose of Retail and Removing Zoning Stipulations in Land Lots 172, 173 and 209 of the 20th District. Located on the north side of Ernest Barrett Parkway and on the south side of Auto Park Drive, west of Barren Lakes Boulevard.
 The public hearing was opened and Mr. Carl E. Westmoreland addressed the Board. Following presentation and discussion, the following motion was made:
MOTION: Motion by Gerecht, second by Oll, to delete Rezoning to the CRC zoning district subject to:
 • site plan received by the Zoning Division February 4, 2011 for reference only and subject to Plan Review and approval by the District Commissioner (attached and made a part of these minutes)
 • letter of agreeable conditions from Mr. Carl E. Westmoreland, Jr., dated March 14, 2011 (attached and made a part of these minutes)
 • contemporaneous variances allowed as described in the stipulated letter elevations subject to Plan Review and approval by the District Commissioner
 • use and site plan for the north parcel facing Auto Park Drive subject to approval by the Board of Commissioners
 • project to be in conformance with Town Center Area Guidelines, not otherwise in conflict
 • subject to Tree Ordinance and Sign Ordinance, with an overall landscape plan to be approved by County Arborist
 • landscape plan to be in general conformity to the Town Center Community Improvement District guidelines, not otherwise in conflict
 • if the property is subdivided or if a portion is subdivided in any lot(s) that do not meet the parking code independently, then all lots adjacent to Barrett Parkway right-of-way will participate in a cross parking agreement
 • no vehicles may be parked visible to any right-of-way for advertising or "for sale" purposes, unless the use of the entire property is modified to auto/truck sales by the Board of Commissioners
 • District Commissioner may approve minor modifications
 • Water and Sewer Division comments and recommendations, not otherwise in conflict
 • Stormwater Management Division comments and recommendations, not otherwise in conflict
 • Cobb DOT comments and recommendations, not otherwise in conflict
VOTE: ADOPTED unanimously

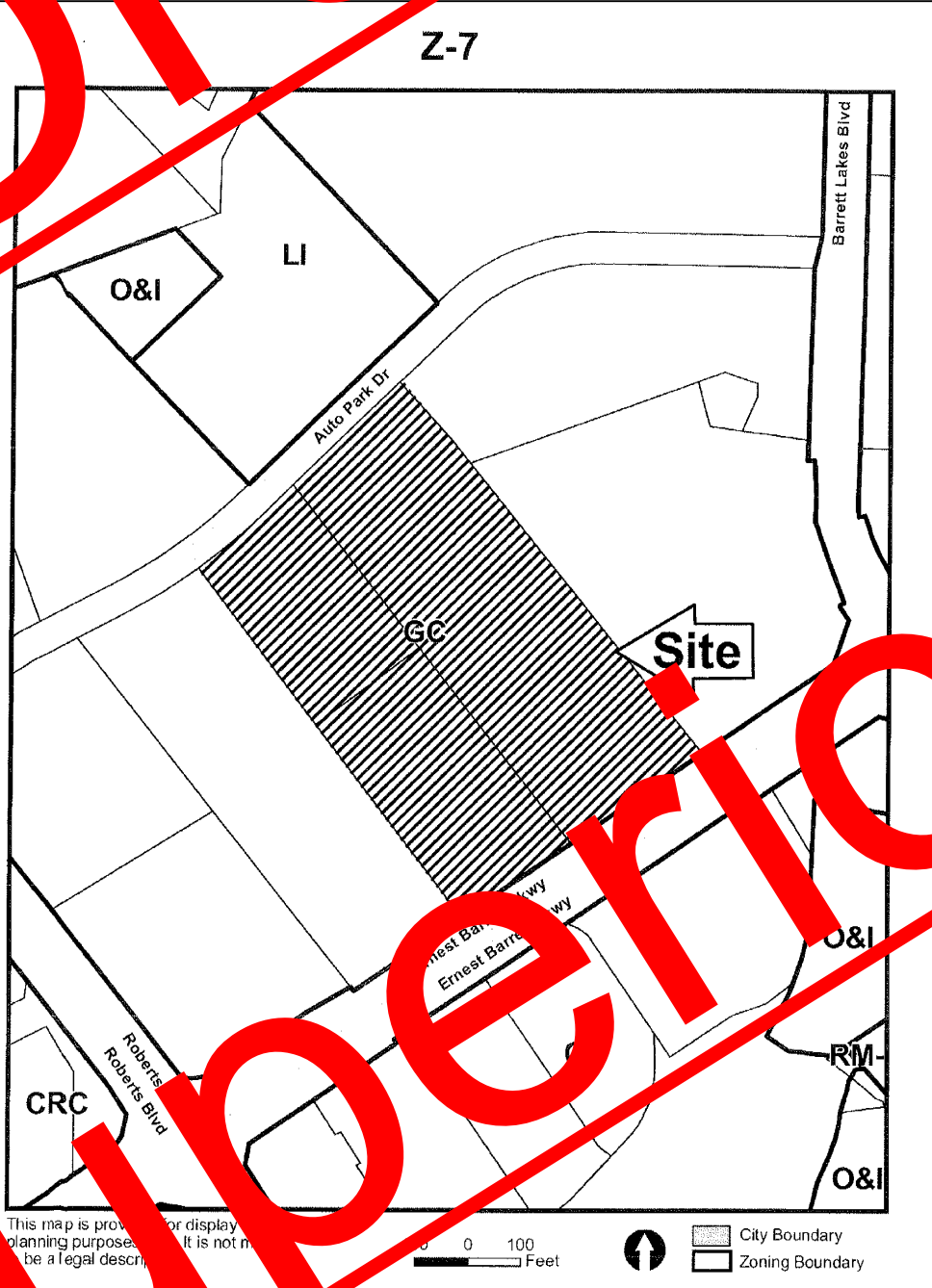


SEYFARTH SHAW
 ATTORNEYS
 1211961
 March 14, 2011
 VIA EMAIL
 Jason Campbell
 Community Development - Zoning
 P.O. Box 649
 Marietta, GA 30061
 Re: Rooms To Go Z-7
 Dear Jason,
 I understand the information presented for a Preliminary Review, the Cobb County Fire Marshal's Office is confident that all other items can be addressed during the Plan Review Stage.
 After analyzing the information presented for a Preliminary Review, the Cobb County Fire Marshal's Office is confident that all other items can be addressed during the Plan Review Stage.

SEYFARTH SHAW
 ATTORNEYS
 Jason Campbell
 Community Development - Zoning
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 After analyzing the information presented for a Preliminary Review, the Cobb County Fire Marshal's Office is confident that all other items can be addressed during the Plan Review Stage.



APPLICANT: Rooms To Go PETITION NO: Z-7
 REPRESENTATIVE: Jeffrey H. Finkel HEARING DATE (PC): 03-15-11
 TITLEHOLDER: GlassRater Management & Realty Advisors, LLC
 PROPERTY LOCATION: On the north side of Ernest Barrett Parkway and on the south side of Auto Park Drive, west of Barren Lakes Boulevard.
 ACCESS TO PROPERTY: Barren Parkway, Auto Park Drive
 PHYSICAL CHARACTERISTICS OF SITE: Former car dealership and parking lot
 CONTIGUOUS ZONING/DEVELOPMENT:
 NORTH: GC & LI Commercial and Industrial Developments
 SOUTH: GC/Developed Commercial Properties
 EAST: GC/Former Car Dealership
 WEST: GC/Car Dealership
 OPPOSITION: NO OPPOSED PETITION NO: SPOKESMAN
 PLANNING COMMISSION RECOMMENDATION:
 APPROVED MOTION BY: [Signature]
 REJECTED SECONDED
 HELD CARRIED
 BOARD OF COMMISSIONERS DECISION:
 APPROVED MOTION BY: [Signature]
 REJECTED SECONDED
 HELD CARRIED
 STIPULATIONS:



APPLICANT: Rooms To Go PETITION NO: Z-7
 PRESENT ZONING: GC w/Stipulations PETITION FOR: GC w/Stipulations
 ZONING COMMENTS: Staff Member Responsible: [Name]
 Land Use Plan Recommendation: Regional Activity Center
 Proposed Number of Buildings: 2
 F.A.R.: 0.101 Square Footage: 43,470
 Parking Spaces: 274
 After analyzing the information presented for a Preliminary Review, the Cobb County Fire Marshal's Office is confident that all other items can be addressed during the Plan Review Stage.

APPLICANT: Rooms To Go PETITION NO: Z-7
 PRESENT ZONING: GC w/Stipulations PETITION FOR: GC w/Stipulations
 ZONING COMMENTS: Staff Member Responsible: [Name]
 Land Use Plan Recommendation: Regional Activity Center
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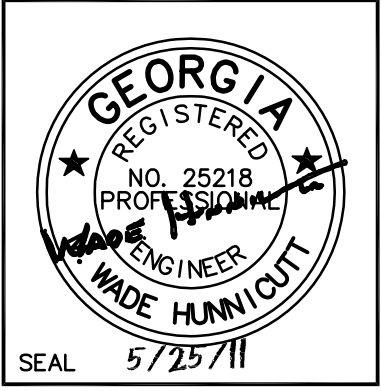
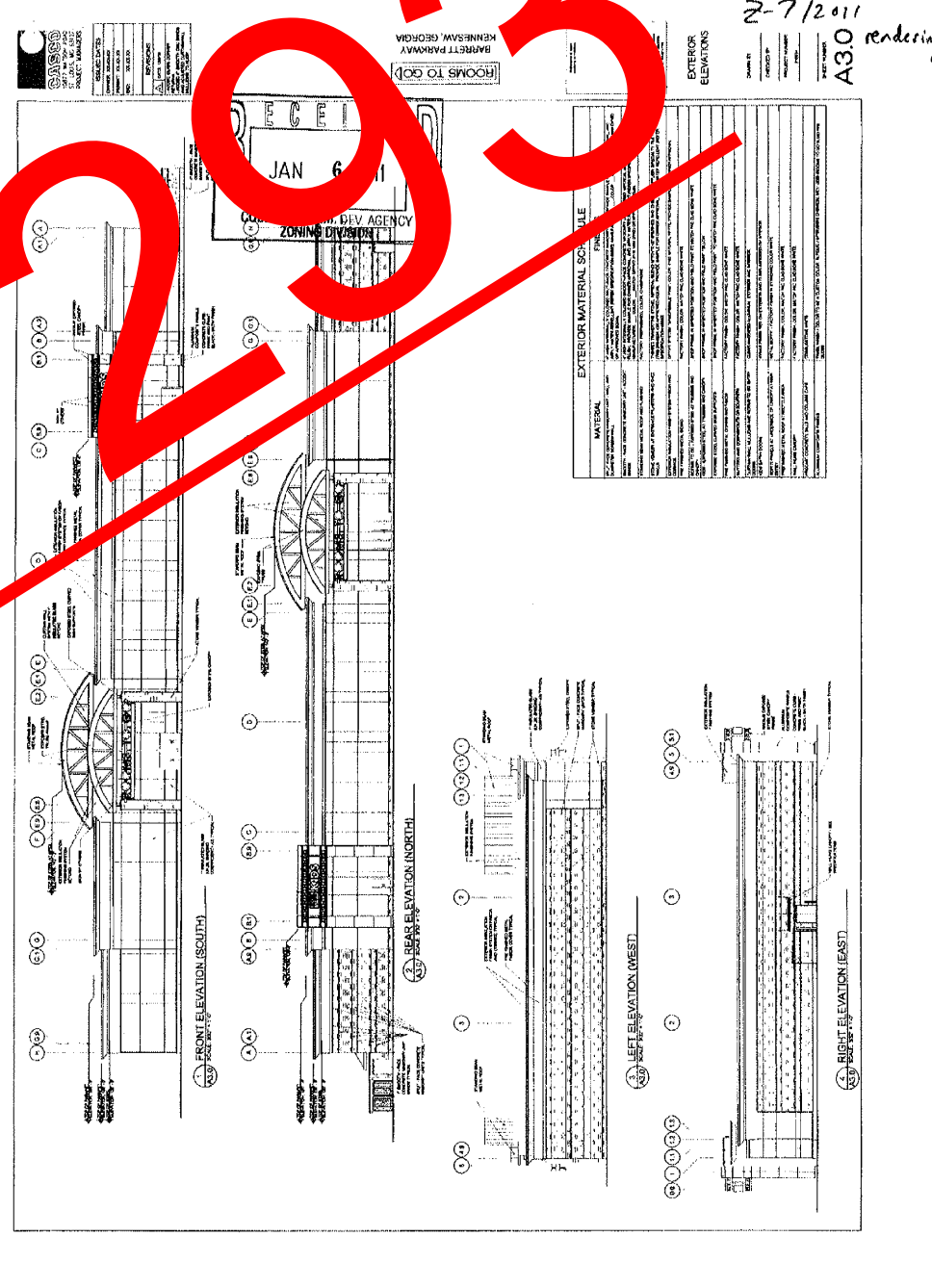
APPLICANT: Rooms To Go PETITION NO: Z-7
 PRESENT ZONING: GC w/Stipulations PETITION FOR: GC w/Stipulations
 ZONING COMMENTS: Staff Member Responsible: [Name]
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 PRESENT ZONING: GC w/Stipulations PETITION FOR: GC w/Stipulations
 ZONING COMMENTS: Staff Member Responsible: [Name]
 Land Use Plan Recommendation: Regional Activity Center
 Proposed Number of Buildings: 2
 F.A.R.: 0.101 Square Footage: 43,470
 Parking Spaces: 274
 After analyzing the information presented for a Preliminary Review, the Cobb County Fire Marshal's Office is confident that all other items can be addressed during the Plan Review Stage.

STAFF RECOMMENDATIONS
 Z-7 ROOMS TO GO
 A. It is Staff's opinion that the applicant's rezoning proposal will not result in a use that is incompatible with the use and development of adjacent and nearby properties.
 B. It is Staff's opinion that the applicant's rezoning proposal will not have an adverse effect on the usability of adjacent or nearby property.
 C. It is Staff's opinion that the applicant's rezoning proposal will not result in a use which would cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.
 D. It is Staff's opinion that the applicant's rezoning proposal is in conformity with the policy and intent of the Cobb County Comprehensive Plan, which delineates this property as a Regional Activity Center.
 E. It is Staff's opinion that there are existing and changing conditions affecting the use and development of the property which give supporting grounds for approving the applicant's rezoning proposal.
 Based on the above analysis, Staff recommends APPROVAL, subject to the following conditions:
 • Revised site plan received by the Zoning Division on February 4, 2011, with the District Commissioner approving minor modifications.
 • Rendering of the proposed Rooms to Go store received by the Zoning Division on January 6, 2011, with the District Commissioner approving minor modifications.
 • Water and Sewer comments and recommendations.
 • Stormwater Management Division comments and recommendations, and
 • DOT comments and recommendations.

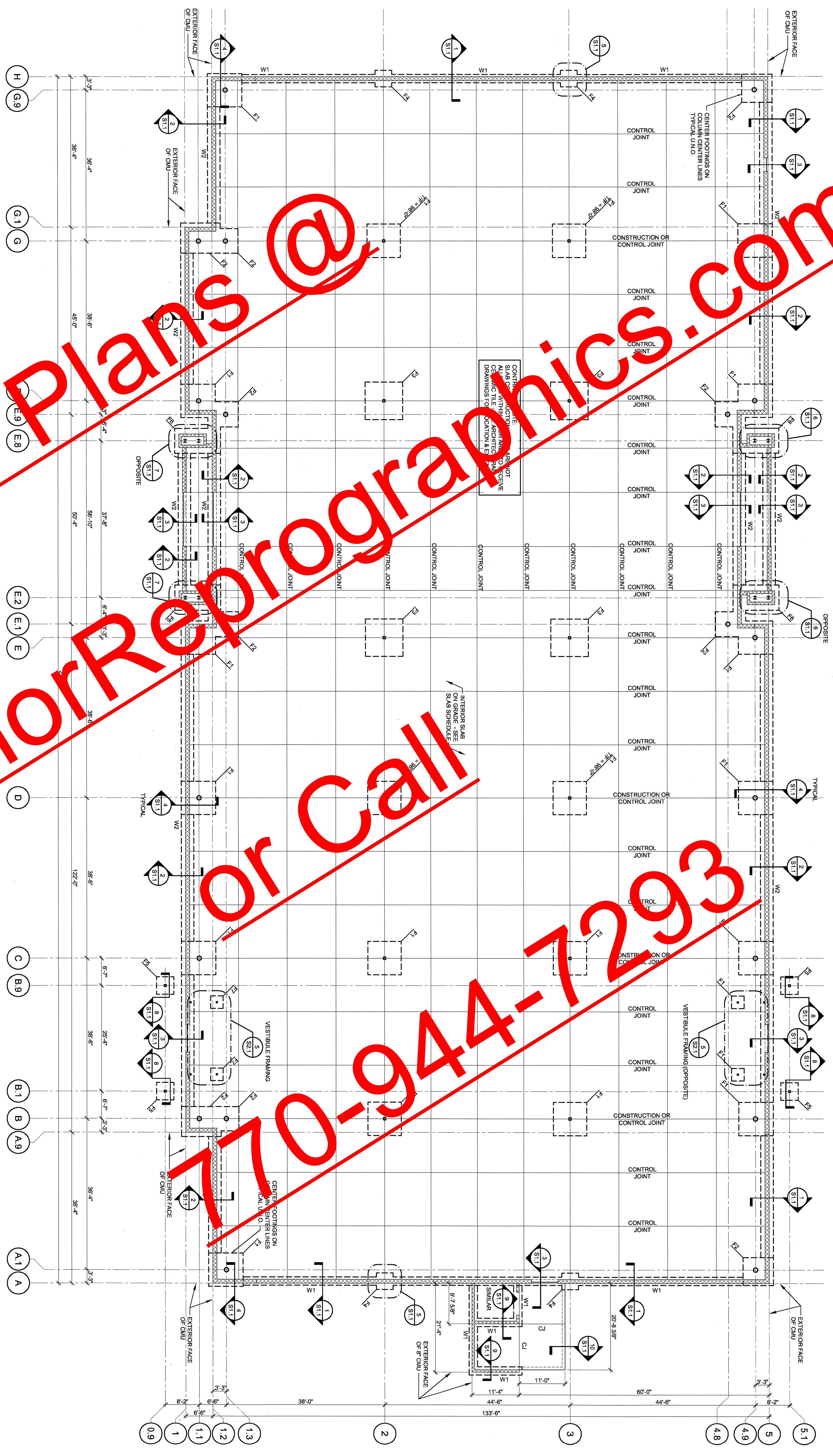
REVISIONS:
 NO. & DATE DESCRIPTION
 5/25/11 DWG ISSUED
 DRAWING TITLE:
 ZONING CONDITIONS
 DATE: 12/21/10
 PROJECT: 091283
 DRAWING NO.:
 C-11
 SEQ. OF
 SCALE:

RECEIVED
 JAN 6 2011
 COB CO. COMM. DEV. AGENC
 ZONING DIVISION
 Application No. Z-7
 2011
 Summary of Intent for Rezoning
 Part 1. Residential Rezoning Information (attach additional information if needed)
 a) Proposed use: [Blank]
 b) Proposed building architecture: [Blank]
 c) Proposed parking spaces: [Blank]
 d) List all requested variances: [Blank]
 Part 2. Non-residential Rezoning Information (attach additional information if needed)
 a) Proposed use: [Blank]
 b) Proposed building architecture: [Blank]
 c) Proposed hours of operation: [Blank]
 d) List all requested variances: [Blank]



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1 FOUNDATION PLAN
 S1.0 SCALE: 3/32" = 1'-0"

FOUNDATION PLAN NOTES

1. SEE SHEET S1.1 FOR GENERAL NOTES AND TYPICAL DETAILS
2. ALL ELEVATIONS BASED ON FINISH FLOOR ELEVATION = 100'-0" FOR REFERENCE ONLY. SEE SITE PLAN FOR ACTUAL FINISH FLOOR ELEVATIONS.
3. TOP OF INTERIOR SOILING FIN = 82'-0" UNLESS NOTED OTHERWISE ON PLAN. SEE GENERAL NOTES FOR INTERIOR FINISH ELEVATIONS. ALL ELEVATIONS SHALL BE SHOWN WITH THE CIVIL ENGINEERING DRAWINGS AND SITE CONDITIONS. FOOTINGS SHALL BE STEPPED IN ACCORDANCE WITH THE TYPICAL STEPPED FOOTING DETAIL.
4. CENTER ALL FOOTINGS ON COLUMN AND WALL CENTERLINES, UNLESS NOTED OTHERWISE.
5. CONTINUOUS WALL FOOTING REINFORCING SHALL BE PLACED CONTINUOUS THROUGH ISOLATED PENETRATE SLAB.
6. SEE ARCHITECTURAL PLANS AND DETAILS FOR TYPICAL INTERIOR WALL PARTITION SUPPORTS THAT PENETRATE SLAB.

FOOTING SCHEDULE

MARK	SIZE	REINFORCING
W1	2'-0" x 1'-0" CONTINUOUS	(3) #6 CONTINUOUS - BOTTOM
W2	3'-0" x 1'-0" CONTINUOUS	(4) #6 CONTINUOUS - BOTTOM
F1	8'-0" x 8'-0" x 2'-0"	(8) #6 - EACH WAY - TOP & BOTTOM
F2	8'-0" x 8'-0" x 2'-0"	(8) #5 - EACH WAY - TOP & BOTTOM
F3	9'-0" x 8'-0" x 2'-0"	(1) #6 - EACH WAY - TOP & BOTTOM
F4	4'-0" x 4'-0" x 1'-0"	(6) #5 - EACH WAY - BOTTOM
F5	4'-2" x 4'-2" x 3'-6"	(4) #5 - EACH WAY - BOTTOM
F6	11'-0" x 8'-0" x 3'-6"	(6) #5 LONG WAY, (10) #5 SHORT WAY - TOP & BOTTOM
F7	3'-0" x 3'-0" x 1'-0"	(4) #5 EACH WAY - BOTTOM

SLAB SCHEDULE

LOCATION	THICKNESS* AND REINFORCING	REMARKS
INTERIOR SLAB ON GROUND	CONCRETE SLAB ON GRADE REINFORCED WITH POLYPROPYLENE FIBERGLASS FIBERS (SEE PROJECT SPECIFICATIONS)	VAPOR RETARDER PER SPECIFICATION OVER COMPACTED SUB-GRADE PER GEOTECHNICAL REPORT
SIEMARK	CONCRETE SLAB ON GRADE REINFORCED WITH 8 x 8 - M x M x M W/F - CENTER	SEE ARCHITECTURAL DRAWINGS FOR SLAB JOINTS AND PLAN LAYOUT
DUMPSITER AND LOADING PAD	CONCRETE SLAB ON GRADE REINFORCED WITH #4 BARS AT 18" O.C. EACH WAY - CENTER	COMPACTED SUB-GRADE PER PROJECT GEOTECHNICAL REPORT

* THICKNESS OF SLABS AS SPECIFIED IN SCHEDULE ARE MINIMUMS. THERE SHALL BE NO TOLERANCE FOR SLABS THINNER THAN THOSE SPECIFIED IN SCHEDULE.